

The Woods at Summerford

HANDBOOK OF DESIGN STANDARDS AND MAINTENANCE GUIDELINES FOR HOMES AND YARDS

The Woods at Summerford
Springford Parkway
Chesterfield, VA 23832

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ARTICLE I: ARC AUTHORITY, POLICIES AND PROCESS

1.1 PHILOSOPHY OF DEVELOPMENT

1.1.1 PHILOSOPHY OF THE WOODS AT SUMMERFORD: The architectural review process encourages a consistency in character and quality of all the homes and lots, while promoting variety and individuality in design. It also encourages a strong visual sense of “community” in the streetscapes and front yards, while preserving privacy and individual settings in the rear yards. Only a high quality of architecture and landscape design will be approved to create a context in which individual tastes are not sacrificed, but blended in a way to protect overall property values. To accomplish these goals, protective Covenants and these Standards were established. These Standards were developed to provide homeowners the maximum longevity of their investment.

1.2 AUTHORITY TO ESTABLISH STANDARDS AND CONDUCT DESIGN REVIEW

1.2.1 THE DECLARATION: When a lot is purchased in The Woods at Summerford the deed states that the title is subject to restrictions of record that run with the land. All lots in The Woods at Summerford are covered by the *Declaration of Covenants, Easements, Restrictions and Conditions for The Woods at Summerford* (the “Declaration”). The Declaration created the Woods at Summerford Homeowners Association, Inc. (the “Association”), in which all property owners in the community are members. Article V of the Declaration provides for an architectural review process and the establishment of a New Construction Committee (NCC) for review of new homes and a Modifications Committee (MC) for the review of modifications to existing homes and lots. Each committee is further given the authority to develop specific design guidelines that will govern all development on private lots in the community. As property owners and members of the Association, you should review the entire *Declaration* carefully and save it for future reference.

1.2.2 THE HANDBOOK: This Handbook provides a clear method for review and approval of architecture, landscaping, and siting for new construction as well as later revisions (additions, alterations, etc.). It includes a description of the review process, details of site and architectural design standards, and procedures and standards for construction activities. The *Handbook* is designed to be a “living document”. This current issue replaces an earlier document adopted in 2004. It will be updated from time to time to address concerns of the community or to update procedures and standards. All revisions and updates are required to be adopted by the Board of Directors at a regular board meeting, before they can take effect.

1.2.3 THE ARCHITECTURAL REVIEW COMMITTEE (ARC): Prior to the issue date of this Handbook, the New Construction Committee (NCC) was controlled by the developer of the community, and the Modifications Committee (MC) was established by the homeowner Board of Directors. The MC was renamed the Architectural Review Committee (ARC). As of this issue date, the two committees will operate under the ARC title. Any reference in this book to the Architectural Review Committee or ARC shall apply to either or both the NCC and MC as appropriate. The Board of Directors shall appoint all members of the MC and NCC, which may include an outside professional reviewer in addition to, or in place of volunteer members, except that there shall always be one additional member that is a member of the Woods at Summerford Homeowner Association. In accordance with the Declaration, the Board of Directors also has the right to charge reasonable Application Fees for architectural review. Such fees shall be listed on the application forms, and may be revised by the Board from time to time without requirement of prior notice to the members of the Association.

1.2.4 INTERPRETATION BY THE ARC: Although the Standards contain a listing of specific requirements to be followed, the very nature of design is an individualistic process. It is the responsibility of the ARC to interpret these Standards as they relate to each design submittal. The ARC shall judge compliance with these Standards in questions of appearance, aesthetics, or infringement by design upon the rights of other residents. The ARC has the right to reject any site, building, or landscaping plan and specifications that are not desirable in its opinion for any reason, including purely aesthetic reasons.

1.3 GRANDFATHERED STANDARDS

1.3.1 PRIOR APPROVALS GRANDFATHERED: All new homes and modifications constructed in accordance with approved applications prior to the issue date of these *Standards* shall be deemed in compliance with the standards of The Woods at Summerford Association even if the standards have changed.

1.3.2 CURRENT CONSTRUCTION GRANDFATHERED: Any application approved prior to the issue date of these standards, and for which construction has not yet been completed, shall remain valid for six (6) months from the application date. If construction has not begun within this period, the approval has lapsed and the application must be re-submitted for review. These applications will be reviewed under the current Standards.

1.3.3 NON-APPROVED CONSTRUCTION IN VIOLATION: Any existing construction, which has not been reviewed and approved by the NCC or MC, is not in compliance with the Declaration of The Woods at Summerford Association. These improvements must be submitted for review by the ARC. Review will be based on these current Standards. Non-

approved construction is a violation of the Declaration. The Association reserves the right to enforce the Declaration in such cases, including legal enforcement to require corrective action to remove such construction or bring it into compliance.

1.4 RESPONSIBILITY FOR OBTAINING APPROVALS

1.4.1 PROPERTY OWNER IS RESPONSIBLE: Each property owner within The Woods at Summerford is responsible for his or her property's compliance with these Standards. Any proposed improvements to be made to that property may affect that compliance, and the Declaration requires that the owner obtain approvals from the ARC prior to making the improvements. This is true regardless of whether or not the work is being performed by the owner directly or by a Contractor.

1.4.2 PROPERTY OWNER TO COMPLY WITH OTHER LAWS: In addition to approvals from the Association, approvals and permits (such as a building permit) may be required by the county. It is not the responsibility of the Association, nor the ARC to obtain permits from Chesterfield County or any other jurisdictional agency, or to provide any guarantees or waive any legal requirements for compliance with any federal, state or county law.

1.5 THE ARCHITECTURAL REVIEW PROCEDURES

1.5.1 NEW HOME REVIEW: The procedure for review of new home development includes review of the siting of the home, the architecture of the home, and the final landscaping of the lot. The procedure consists of four (4) steps:

- a) **ARCHITECTURAL PLAN REVIEW:** Upon receipt of a properly executed New Home Application, including required attachments, the ARC will review the house plans, site plan, and samples of exterior materials, finishes and colors.
- b) **ON-SITE STAKE OUT INSPECTION:** Upon securing approval of the plans, the applicant may then prepare the site for clearing and construction by staking out the location of the proposed house, driveway, and clearing limits. No clearing or site work can begin until the ARC has walked the lot with the builder (by appointment), and given approval to begin construction.
- c) **LANDSCAPE PLAN REVIEW:** A separate Landscape Plan must be drawn and submitted, either at the same time as the architectural plans, at any time prior to the installation of final pavements and landscaping. The landscape plan must include names of plant materials and the number and size of each variety to be planted. The landscape plan must show the location of the HVAC equipment, final location of pavements, decks and patios, any proposed fencing, and any walls or terraces.

d) **FINAL COMPLETION INSPECTION:** At the completion of construction and installation of final landscaping, the Applicant shall contact the Association office and request a Final Completion Review. An ARC representative will conduct a final inspection of the completed work and verify that it complies with all approvals and approved plans. This does not constitute a warranty of any kind with respect to quality of construction or improvement to the lot, nor an express approval of any variance not specifically approved by the ARC.

1.5.2 EXTERIOR HOME OR PROPERTY ALTERATION REVIEW PROCEDURE: The applicant must submit an Exterior Alteration Form which must be accompanied by plans or other descriptive information as necessary to fully describe the proposed improvement (see below). The ARC will review the request and advise the applicant in writing of their approval or other decision.

1.6 PREPARATION OF SUBMITTALS

1.6.1 SUBMITTALS TO BE COMPLETE AND ACCURATE: Submittals prepared for consideration by the ARC must be complete and accurate. Submittals for design review must include drawings prepared as described below. Color chips must accompany color applications. All information requested on the application form needs to be furnished. The ARC will return applications that are incomplete or inaccurate.

1.6.2 DESIGN AND DRAWING ASSISTANCE: Buildings and additions require accurate scale drawings for design review and approval. Owners who cannot draw adequate plans or cannot obtain them from their contractor, should obtain design and/or drawing assistance from professionals. These include architects, home designers and draftspersons. These service providers are listed in the Yellow Pages or in online directories under their respective headings.

1.6.3 SUBMITTALS NOT RETURNED: All drawings, site plans, etc. submitted for review become the property of the Association and will not be returned. Submittals are kept on file for a record of approved designs. Therefore, submitted drawings should be copies of originals, not the originals themselves.

1.6.4 SUMMARY OF SUBMITTAL REQUIREMENTS: Proper submittals include drawings that are neat, accurate, drawn to scale, and with sufficient detail to adequately explain the entire design. Insufficient explanation of a design, including all visible details, may result in rejection of an application. The ARC, at its discretion, may accept plans that are marked-up in red with late changes to design features. However, the ARC may require that the marked-up sheets be corrected and revised, and re-submitted. Minimum requirements for each type of application are listed below:

a) **NEW HOMES**

- **Site Plan:** Typical scale is one inch equals twenty feet (1"= 20'-0"). Show property lines, building setback lines, easements, environmental conservation delineations, property dimensions, house, driveway, walk and HVAC locations (show distances of house from property lines). If requested by the ARC plans shall also show topography, and drainage patterns. Show also any proposed fencing, walls, or retaining walls and any other anticipated property improvements.
- **House Plans:** Typical scale is one quarter inch equals one foot (1/4"= 1'-0"). Include a Foundation Plan, Floor Plans and Exterior Elevations (show actual anticipated grade level at the house), and a typical Exterior Wall Section. Indicate finish materials and show any roof vents larger than standard plumbing or gas appliance vents.
- **Finishes** Color chips of exterior paint colors, prefinished siding or trim colors, finish roofing sample of material and color, samples of brick or stone including mortar color.
- **Landscape Plans:** Typical scale is the same as the site plan or larger. Show all plant locations, locations of existing mature vegetation to be saved, sod areas, planting beds, and pavements. Indicate all proper plant names, sizes, and quantities.

b) **ADDITIONS**

- **Site Plan:** Typical scale is one inch equals twenty feet (1"= 20'-0"). Show existing house, addition location and distances from addition to property lines. Show any trees to be removed and any changes in landscaping.
- **Addition Plans:** Typical scale is one quarter inch equals one foot (1/4"= 1'-0"). Include foundation plan, floor plan (s) and all exterior elevations of the addition including portions of the existing house. Indicate all finish materials.

c) **ACCESSORY STRUCTURES**

- **Site Plan:** Typical scale is one inch equals twenty feet (1"= 20'-0"). Show location of new structure and existing house, with distances between each, distances to property lines, and tree (s) if any to be removed.
- **Structure Plans:** Typical scale is one quarter inch equals one foot (1/4"= 1'-0"). Include floor plan, and all exterior elevations. Identify type of foundation or ground support. Indicate finish materials.

d) OTHER PROPERTY IMPROVEMENTS:

- **Site Plan:** Typical scale is one inch equals twenty feet (1"= 20'-0"). Show location of improvement, existing structures, distances to property lines, tree (s) if any to be removed.
- **Plans:** Typical scale is one quarter inch equals one foot (1/4"= 1'-0"). Plans of Improvement (ex: deck, patio, swimming pool, etc.), and details of any vertical structures or elements.

e) FENCES

- **Site Plan:** Typical scale is one inch equals twenty feet (1"= 20'-0"). Show location, extent of fence, and tree (s) if any to be removed.
- **Fence Drawing:** Show design of fence with heights, materials and sizes identified.

f) HOUSE COLORS AND FINISHES

- **Changes From Existing:** For changes to existing house colors or prefinished exterior materials, submit application form with manufacturer's names and color names. Submit color samples with application.

1.7 APPROVALS AND OTHER ARC ACTIONS

1.7.1 ALL DECISIONS IN WRITING: An application is approved when the ARC or its designated representative gives notice to the applicant in writing. No verbal approvals are given.

"Approved": means approved as submitted.

"Approved with Limiting Conditions": means approved only if stated conditions in the approval letter are met.

"Not Approved": means not approved for construction. Reasons for disapproval will be given in writing. The ARC may also provide suggestions for revisions but does not provide design solutions. A "Not Approved" action requires a re-submittal by the applicant for review before any approvals can be given.

1.7.2 REVIEW BASIS: The ARC bases its review of each application on its interpretation of the Declaration and these Standards and on the graphic and written information presented. No approvals will be given on the basis of verbal information or commitments. Therefore, it is incumbent upon the applicant to provide sufficient and accurate written and graphic information to the ARC for proper consideration.

- 1.7.3 REVIEW OF CONSTRUCTION ALREADY COMPLETED:** Construction completed without approval of the ARC, is still subject to review at any time that the Association becomes aware of the improvement. The ARC reviews all submittals on the basis of its interpretation of the Covenants and Design Standards only. Approvals are based on the merits of the submittal as it relates to these Standards, and is not affected by the status of construction.
- 1.7.4 APPEALS TO THE ARC:** Should an application be denied on the basis of the Declaration or Standards, and the applicant feels that the submittal was misinterpreted or that there are extenuating circumstances, which should qualify them for an exception from these requirements, they may contact the Community Manager and request to have the application reconsidered by the ARC. Appeals should be made in writing to the ARC.
- 1.7.5 APPEALS OF AN ARC ACTION TO THE ASSOCIATION BOARD:** If an applicant feels that he or she has been unfairly denied approval by the ARC, a written appeal may be filed with the Association Board of Directors, in accordance with procedures established in the Declaration, by contacting the Community Manager. Review of ARC actions by the Board will be limited to questions of ARC compliance with the Declaration and these Design Standards.
- 1.7.6 CONSTRUCTION CHANGES:** All construction must be completed in accordance with the application and the plans as approved. Exterior changes to the subject property must receive prior written approval by the ARC. Applicants requesting design change approvals should consult with the ARC to determine if additional plans and specifications are required. Changes include, but are not limited to, items such as fencing, colors, materials, exterior changes, any additional structures, etc.
- 1.7.7 WORKMANSHIP:** All ARC approved construction is subject to the quality of the completed workmanship being consistent (at a minimum) with the quality of workmanship found generally in the community. Poor workmanship will result in the construction being judged not-in-compliance.
- 1.7.8 MAINTENANCE:** The purpose of the Design Standards is to create a community of consistent high quality appearance. All structures and landscaping will deteriorate unless properly maintained. Each section in these Standards will include minimum maintenance standards. Failure to maintain an improvement to minimum standards will void ARC approval until the improvement is refurbished or removed.

1.8 TIME LIMITATIONS

- 1.8.1 APPROVAL PERIOD:** Once the ARC has approved new construction or an alteration, construction or building must begin within six (6) months, and be complete within twelve (12) months after the completion of the on-site stakeout inspection unless otherwise approved by the ARC. If work has not started within six (6) months after approval, the approval will lapse.
- 1.8.2 REPAIR AND RECONSTRUCTION:** If a home or other major improvement on a lot is damaged or destroyed, the property owner must either: a) repair or replace the home or improvement; or b) clear all debris and restore the lot to a maintained unimproved condition. Such condition would include at a minimum: seeding and replacement of damaged or destroyed trees. Such work must begin within six (6) months after the casualty and be completed within twelve (12) months after the casualty, unless otherwise approved by the ARC.
- 1.8.3 ASSOCIATION'S RIGHT TO CURE:** Improvements not completed, or upon which construction has ceased for ninety (90) consecutive days following notice by the Association, or which have been partially or totally destroyed and not rebuilt within twelve (12) months, will be deemed nuisances. The Woods at Summerford Association may remedy any such nuisance at the expense of the property owner.

ARTICLE II: CONSTRUCTION PROJECT STANDARDS

2.1 PROPERTY OWNER'S RESPONSIBILITY

It is the responsibility of each individual property owner, including new home builders, to ensure that these standards are met during the construction of improvements to their property. Owners should review these standards with their builders and require that the builders review them with sub-contractors and suppliers. While the Association may initially contact builders or suppliers directly when violations are first noted, ultimately enforcement actions taken by the Association will be against the property owner.

2.2 JOB SITE STANDARDS

- 2.2.1 CONSTRUCTION TRASH CONTAINER:** All contractors of new homes or major construction projects on existing homes shall provide a construction trash container or trash trailer for the collection of construction debris easily handled without equipment. The trash container is required on the lot (not set in the street) before any framing starts, and must remain there until the job is complete. The trash container shall be adequate to hold all trash expected during construction and/or shall be emptied periodically as required to prevent over-filling.

2.2.2 TRASH BARREL: Contractor's shall furnish a trash barrel or drum for the collection of trash resulting from break time snacks and lunch activities. The barrel must be placed on the job site simultaneously with the trash container or trailer.

2.2.3 CONSTRUCTION JOB SIGNS: In accordance with Article VI, Section 12 of the Declaration, a builder may maintain one job sign on a new home construction site, of not more than five (5) square feet in size, advertising the home/lot for sale. Signs for sub-contractors, suppliers, manufacturers, lenders, insurers, etc. are not permitted.

2.2.4 TEMPORARY FACILITIES: For new homes or where other facilities are not available on site, the builder shall provide and maintain in good condition, one outside portable toilet facility for construction workers during construction. Locate facilities at least 20' away from any lot perimeter adjacent to an existing home, and as far off the street as possible for service accessibility.

2.2.5 DAILY CLEANUP: Loose debris shall be picked up and deposited in the appropriate trash container by the end of each work day. During high wind conditions, care shall be taken to secure debris and materials from blowing off site.

2.3 CLEARING AND LOT PREPARATION

2.3.1 COUNTY ENVIRONMENTAL REQUIREMENTS: The development of each lot shall conform to all applicable Chesterfield County environmental requirements for clearing and erosion and sediment control. The ARC does not interpret or enforce these criteria. Contact the County for information.

2.3.2 SITE CLEARING, CUTTING OF TREES: NO CLEARING WITHOUT APPROVAL: No clearing or work of any kind shall commence on any lot until plans and specifications, as defined in these guidelines, have been submitted and approved by the ARC. For new homes an on-site Stakeout Review must be completed and written approval received. The Woods at Summerford Association will seek remedy for violations which may include fines, stop work order, etc.

a) INITIAL CLEARING: The retention of healthy mature trees is encouraged where possible. The ARC has the authority to require the retention and protection of individual trees on a lot during construction, where such trees are located a minimum of 15' away from a house footprint, including decks and patios. Saving groups of trees is also encouraged. The lot should be cleared of debris and underbrush. The ARC may require the removal of additional vegetation, which is considered obnoxious and unsightly when visible from the street. The contractor shall take reasonable measures to protect trees on

adjacent lots from damage by limiting construction vehicle traffic and material storage within the drip line. Tree stumps shall be removed to a minimum depth of 4" below grade, in a manner to conserve remaining trees. Cleared material may not be dumped on other sites or common areas within the Community.

- b) **REQUIRED REMOVAL OF DEAD OR DISEASED TREES:** All dead and diseased trees must be removed.

2.3.3 GRADING, EROSION AND SEDIMENT CONTROL:

- a) **PREVENT EROSION DURING CONSTRUCTION:** Comply with applicable government regulations and code requirements in preventing silt runoff. Erosion control devices shall be installed prior to construction. Any mud or silt runoff onto adjoining properties or streets shall be immediately stopped and removed.
- b) **GRADING FOR DRAINAGE:** Final grading shall return lot to normal flow at rate and direction similar to pre-construction conditions. Do not concentrate run-off onto adjacent lots. If natural drainage flows across the lot from adjacent lots or common area this flow may be diverted on the lot to avoid structures and other lot improvements. However, normal flow cannot be blocked nor can it be diverted off-site. Upon completion of grading, if areas of ponding water remain on graded areas after rain periods, the grading shall be corrected to eliminate this condition.
- c) **STEEP SLOPES:** If the angles of slopes that result from site grading do not permit quality maintenance in grass, the slope shall be stabilized with spreading ground plants or terracing.
- d) **TERRACING AND RETAINING WALLS:** To the extent possible, grading should blend with the existing contours of the lot. Where necessary to stabilize slopes, the applicant shall provide retaining walls, stepped terraces or other forms of permanent stabilization practices as may be required by the ARC. If retaining walls are used, they must be approved by the ARC and must be constructed of approved materials such as brick, stone, or pre-cast architectural blocks. Walls shall be built in accordance with local building codes, which may require a design approved by an engineer.
- e) **DRAINAGE IMPROVEMENTS:** Concentrated runoff may not be directed toward neighboring lots. No discharge of drainage pipes from foundations or roof drainage may be located closer than 10' from adjacent property lines. Any proposed surface drainage improvements such as rip rap, natural colored stones, culverts, swales, berm, etc, must be designed as an integral element in the landscaping of the lot and must be approved by the ARC.

2.4 PROJECT COMPLETION

2.4.1 FINAL CLEAN-UP: At the end of the construction period, the builder must restore all roadways, ditches and drainage ways, including fine grading. These areas must be reseeded. The builder must assure positive drainage with no standing water, clean the lot of all construction debris and trash, and remove all temporary fencing, facilities, equipment, and unused materials. Remove all erosion and sediment control devices once site stabilization has been approved by the County or other agency having jurisdiction over such measures.

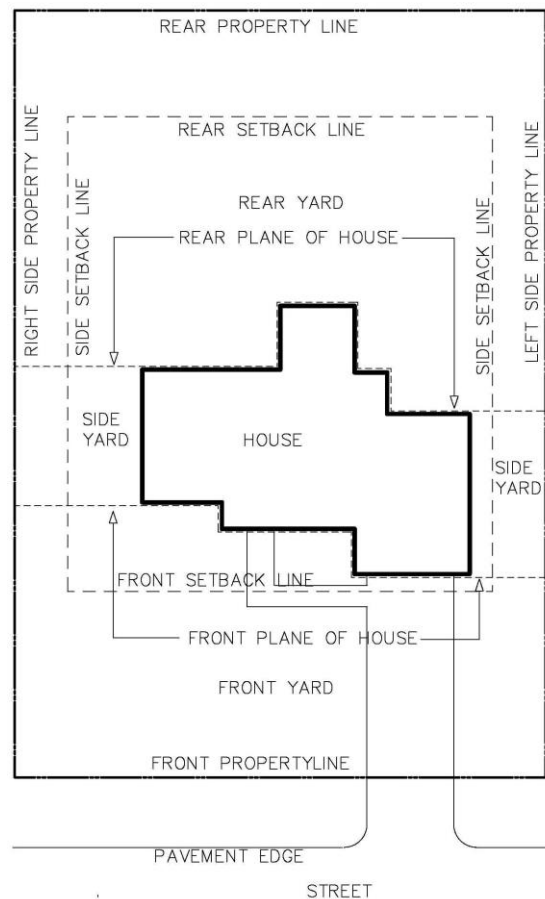
ARTICLE III: INDIVIDUAL LOT AND YARD

3.1 PROPERTY LINES, SETBACKS, YARDS AND BUILDING PLANES

3.1.1 PROPERTY LINES: The property lines define the extent of each private lot. The front property line is not the edge of the road pavement. Typically, the front property line is about 10' from the pavement edge, however this may vary. If you do not have a copy of a recorded plat of your property, you can view it graphically on a county map at www.Chesterfield.gov. Select "Citizen GIS", which will take you to a dynamic county map. This map has layers that include property lines and aerial photos.

3.1.2 SETBACKS: These are minimum required distances from property lines for houses and other structures, and are defined by Chesterfield County zoning. The Woods at Summerford is in R-12 zoning, which has the following required setbacks:

- a) Houses: front – 35 ft (measured from front property line – not the pavement); side – 10 ft each side; rear – 25 ft.
- b) House Additions – same as house.
- c) Accessory Buildings: front – behind rear house plane (see "Building Planes"); side – 5 ft.; rear – 12.5 ft.



3.1.3 YARDS: For the purposes of these

Standards, each lot has four (4) yard areas in relation to the house, defined as front yard, left side yard, right side yard and rear yard. On corner lots, the side yard facing a street is called the corner side yard. (See illustration).

3.1.4 BUILDING PLANES: For the purposes of these Standards, a front building plane is defined as a line extending from each end of the front house façade to the side property lines. The rear building plane is a line extending from each end of the rear house façade to the side property lines.

3.1.5 AUTHORITY TO APPROVE SITING:

The ARC has the authority to approve, reject, or require modifications to, an applicant's proposed house siting. ARC Review of appropriate siting is based on the criteria stated below.

3.1.6 HOUSE SITING: The ARC may use additional criteria in judging acceptable house siting in addition to the minimum setbacks. These criteria have an impact on the size and layout of proposed houses. Therefore, applicants should design homes with these criteria in mind.

- a. ORIENTATION TO THE ROAD:** In general, houses shall face the road. Houses in cul-de-sacs shall generally face the center of the cul-de-sac. Where site conditions make this unnecessarily difficult (in the opinion of the ARC) the ARC may approve alternative site orientation. On corner lots, the ARC may, at its option, approve siting diagonally to the intersection of the roads.
- b. RELATIONSHIP TO OTHER HOUSES:** Houses generally shall not be located such that extreme variations exist in front setback relative to adjacent houses. The ARC shall determine the extent of variation permitted based on site constraints and house designs. Generally, houses shall be located so that the front of one house does not face the side or rear of a directly adjacent house. Where designs create conditions that would create direct views between house fronts and rear living areas of adjacent houses, the ARC reserves the right to require screening of this view or revisions to the design or siting.
- c. EXTREME CONDITIONS:** The ARC may waive certain criteria stated above in the case of extreme existing site conditions such as irregularly shaped lots, extreme topographic limitations, legal easements, wetlands, or extremely poor soil conditions.

3.1.7 HOUSE ADDITIONS – SITING: If the location or design of a proposed house addition materially reduces the privacy between neighboring houses, the ARC may require changes in the addition, or screening of the view between houses with evergreen landscaping, by the applicant.

3.1.8 ACCESSORY BUILDINGS (SHEDS) OR OTHER STRUCTURES - SITING:

- a) **LOCATION IN REAR YARD ONLY:** No accessory building may be constructed farther forward on the site than the rear plane of the house.
- b) **EFFECTS OF LOCATION ON NEIGHBORING LOTS:** Where placement of an accessory building is in direct view of a neighboring house the ARC has the authority to require screening of the view of the structure by the applicant.
- c) **NOT ADJACENT TO DRIVEWAY:** An accessory structure may not be located directly adjacent to a driveway unless approved as a garage for a vehicle.

3.1.9 SWIMMING POOLS - SITING

- a) **LOCATE DIRECTLY BEHIND HOUSE:** In-ground swimming pools shall be located within the building envelope and wholly behind the house so as not to be visible from the street, with minimal disruption to natural grades. Above ground swimming pools are not permitted.
- b) **PRESERVE PRIVACY:** The ARC may require visual screening of a swimming pool to preserve privacy for both the pool owner and neighbors.
- c) **FENCING REQUIRED:** In accordance with building codes, swimming pools are required to be enclosed in an approved fence. Some spas or hot tubs may also be required to be fenced. All fences must meet the standards herein and must be approved by the ARC.

3.2 PAVEMENTS

3.2.1 DRIVEWAYS: Driveways shall conform to the following criteria:

a) **DRIVEWAY WIDTHS**

- Side or rear entry garages - twelve feet (12') wide from the apron to the garage pad, including any approved border or edging.
- Front entry garages – sixteen feet (16') wide from the apron to the garage.
- Pad width at side entry garages- minimum of twenty feet (20').

- Pad width at rear entry garages extending out from the door - minimum of twenty five feet (25').

- b) **PAVEMENT:** Driveways may be asphalt, concrete, or approved pavers. Concrete may be standard broom finish or may have exposed gray or brown aggregate finish or approved simulated paver finish. Gravel driveways are not permitted. Decorative borders, edging or patterned pavements require ARC approval. Combinations of more than one approved material to achieve a desired design effect, may be considered on a case-by-case basis by the ARC.
- c) **SETBACKS:** Driveways shall be held a minimum of 3' off side property lines. Driveways to rear entry garages shall also be held a minimum of three feet (3') off the side of the house.
- d) **GATES AND PILLARS:** To preserve the streetscape, driveway entrance gates or pillars are not permitted.

3.2.2 FRONT WALKS: Front walks may extend from the front steps to the driveway and/or, upon approval of the ARC, to the street. The ARC may require alteration of walk locations for the purpose of improving landscaping, grading, or visual organization of the front yard. Front walks may be brick, concrete, exposed aggregate concrete, concrete pavers, embossed concrete or cut stone (mortar-set).

3.2.3 OTHER PAVEMENTS:

- a) **OTHER WALKS:** Secondary walkways located behind the front plane of the house or in the rear yard may include loose-laid stone in gravel or a mulch bed, in addition to approved hard surface materials. Continuous landscape edging will be required along soft surface walks.
- b) **PATIOS (GROUND LEVEL):** Ground-level patios are permitted of hard-surfaced materials as approved for front walks, but may include sand set stone or masonry. The ARC will judge the design, size, and location of patios on a case-by-case basis, using the relative visual impact on the lot and neighboring lots, as the criteria for approval.

3.3 LANDSCAPING

3.3.1 TREE REMOVAL ON IMPROVED LOTS: Subsequent removal of trees greater than six (6") inches in diameter must be approved by the ARC. Tree stumps shall be removed or ground down to grade level.

3.3.2 TREE LIMBING: Mature trees may be limbed from the bottom (removal of low hanging limbs and branches) in order to improve view, light and breeze onto lots. Approval is not

required for limbing. Limbing should not reduce the total area of leaves on a tree by more than 25% in order to protect the health of the tree.

3.3.3 REQUIRED MINIMUM LANDSCAPING - ALL LOTS: All portions of lots not containing approved structures, pavements, or other permanent improvements shall be landscaped with vegetation utilizing a combination of the elements defined below. No areas of exposed, non-landscaped soil, as opposed to natural areas, are permitted on any lot. The initial landscaping of a new home shall include shrubs and groundcover plants as described below, with a minimum aggregate value of Twelve Hundred Dollars (\$1,200.00). This amount does not include costs for installation, sod, seed, mulch or irrigation.

a) LAWNS: Sod and in-ground irrigation shall be installed for all new homes, in front and side yards. Irrigation is required in all portions of the front yard including lawn areas between a sidewalk and the street. Rear yards shall be seeded or sod to create a uniform lawn, using a turf grass appropriate to the soil and climate conditions. Grass shall be selected for hardiness and uniform color throughout the entire year. Bermuda grass, or grass that turns brown in winter months, is not permitted in front yards for new lawns.

b) SHRUBS, PLANTING BEDS AND MULCHED AREAS: Areas that are not landscaped as lawn or as natural areas shall be landscaped as planting beds or mulched areas. The distinction between lawn and planting beds or mulched areas shall be clearly and neatly defined. As a guiding principle the ARC will only approve materials and designs that fit in naturally and harmoniously with the landscaping standards of the community. Planting beds may include spreading groundcover, shrubs and trees. Open soil between plants shall be maintained with pine needles, pine bark, or shredded hardwood mulch. Large expanses of mulch beds bordering driveways or streets are generally prohibited. When mulched areas are near pavements, they should be designed so as to minimize washout of mulch.

c) FOUNDATION PLANTING: Foundation planting is required along the front facade of the house and along other areas as designated by the ARC such as decks, fenced enclosures, or other highly visible foundation areas. Foundation beds at the front of houses shall meet the following criteria unless otherwise approved by the ARC:

- 1) Foundation beds shall be a minimum of four feet (4') wide from the house foundation or paved ground gutter.
- 2) Foundation beds shall contain a combination of the following types of materials in the required size and density:

EXAMPLE PLANT TYPES	MINIMUM SIZE	MAX. SPACING
Groundcover (e.g. periwinkle, lirioppe, pachysandra)	2 1/4" pots	12" staggered rows
Small shrubs (e.g. euonymous, helleri holly, azalea)	18"	36" (when in rows)
Larger shrubs (e.g. hollies, boxwood, pyracantha, Arborvitae)	30"	48"
Evergreen, flowering or specimen (ornamental) trees (e.g. Nellie Stevens holly, redbud, Japanese red maple)	6'-0"	Individually placed
Flowers, bulbs are permitted as supplemental planting, but may not take the place of required groundcover or shrubs	n/a	

- d) **NATURAL AREAS:** Natural areas, as defined for landscape purposes, are any wooded areas on a lot that are left in a generally undisturbed state. These areas should be maintained to control the sucker and other undesirable wild ground cover. Landscaping enhancements are encouraged including shrubbery, under-story flowering trees and evergreens.

3.3.4 LANDSCAPING USED FOR SCREENING:

- a) **SCREENING REQUIRED BY ARC:** When the ARC requires that an object be screened with landscaping, the standard requirement will be for densely shaped evergreen shrubs or trees of an installed height at least 2/3 the height of the object, placed to provide a continuous screen on all stipulated sides. Planting can be in a continuous row or staggered. A variety of shrubtrees may be used in addition to single species solutions. It shall be the responsibility of the homeowner to submit to the Board a plan and proposed plant types for review.
- b) **PRIVACY SCREENING:** In yard areas where privacy screening is desired, such as to screen views between back yards, or to screen the view of pools or spas (hot tubs), such screening may be accomplished with vegetation, such as large shrubs and/or evergreen trees. Plantings are encouraged to be naturalized using staggered locations and/or plant types and sizes; however, the ARC may also consider a defined hedge. Such screening shall be submitted for review and will be judged on a case-by-case basis. Criteria for

review include the relative severity of the lack of normal privacy as compared with other properties in the community, and the visual impact of the screening on adjacent lots or roads.

3.3.5 RESTRICTED LANDSCAPING:

- a) **RIGHT-OF-WAY:** It is the responsibility of the homeowner to plant and maintain grass or sod in the roadway right-of-way adjacent to the lot, from the property line to the edge of curb. Other landscaping in the right-of-way must be approved by the ARC. Shrubs or trees that will impede normal safe viewing distances from driveways and along the road will not be permitted.
- b) **LEGAL EASEMENTS:** Easements for utilities or drainage may be present on a lot. The homeowner is responsible to maintain landscaping on any easements shown on a lot. Any improvements approved by the ARC will be placed at the homeowner's risk; with the understanding that such improvements may have to be removed to service the easement.
- c) **SPECIAL LANDSCAPE FEATURES:**
 - 1) **POND AND WATER FEATURES:** Ponds, decorative pools, waterfalls or fountains may be located in the rear yard, behind the rear house plane, preferably. The design and location must be approved by the ARC prior to installation.
 - 2) **LANDSCAPE AND GARDEN WALLS:** To the extent possible, grading should blend with the existing contours of the lot. Where improvements are made to create terraced or raised beds, or to reduce slopes, the applicant may provide decorative or retaining walls. All walls must be approved by the ARC and must be constructed of materials approved by the ARC, which typically will include brick, stone, or pre-cast architectural blocks. Treated timber walls may be approved in rear yards only.
 - 3) **STONES AND BOULDERS:** Use of stones as a decorative or functional drainage course in landscaping, and use of boulders as accent features, must be approved by the ARC. Stones may only be used as mulch in rear yard beds.

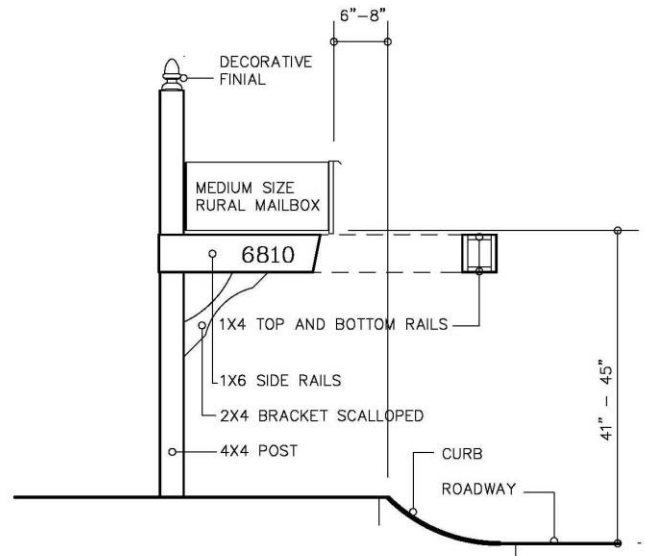
3.3.6 PROHIBITED LANDSCAPING: Except for holiday decorations, the use of any form of artificial or exotic vegetation, including in pots and window boxes, is prohibited. The ARC may reject any proposed landscaping design, layout, or material that is not consistent with the general landscape context of properties within The Woods at Summerford.

3.4 LANDSCAPE ACCESSORIES

3.4.1 MAILBOXES:

a) Mailboxes must be installed using the “Woods” standard post and paperbox design and approved medium size standard rural mailbox. Maintenance of the mailbox is the responsibility of the homeowner. Specifications are:

- Mailbox color is gloss black.
- Post and paper box color is gloss white.
- Address numbers are black metal.



- b) No vines, trellis, flags, or shrubs may obscure the numbers on either side of the post. Numbers must be kept clean on both sides of the box for emergency purposes.
- c) Landscaping such as specialty grasses, mulch, juniper etc. may be used at the base of mailbox posts. No blocks, stones, pavers, rip rap, or other material may be used unless it is an integral element in the landscape plan and approved by the ARC.

3.4.2 CLOTHESLINES: Exterior clotheslines are not permitted.

3.4.3 FLAGS AND FLAGPOLES: A maximum of one decorative flag, US Military flag, or sovereign flag (USA, Virginia, Chesterfield County) may be flown from a flag standard of six feet (6') or less in length, mounted on the house. The flag shall be proportional in size to the standard. Vertical free-standing flag poles are not permitted.

3.4.4 SIGNS: No signs (including but not limited to house numbers, plaques, placards, symbols, emblems, insignias, logos, crests and notices) other than builder, real estate or security signs as defined below are permitted on any lot.

- a) **REAL ESTATE SIGNS:** Real estate signs advertising a property for sale or rent, of not more than five square feet (5 s.f.) in size, may be placed in the front yard only. This includes builder signs for new homes.
- b) **SECURITY SIGNS:** One security alarm sign may be installed on lots with homes that have security systems installed. The sign may not exceed 12"x12" in size and must be displayed in an unobtrusive place close to the house, preferably in a shrubbery bed.

3.4.5 MINOR STRUCTURES: Miscellaneous small structures such as arbors, fountains, permanent barbecue/outdoor kitchen equipment, fire pits, etc., must be approved by the ARC

as to design, size and location. These items will generally be restricted to rear yards only, although arbors may be located up to the front house plane. The ARC reserves the right to restrict the design, size, and placement of such structures, and/or to require landscape screening, in order to limit visibility of the structure and activity associated with it, from off site.

3.4.6 RAIN BARRELS: Rain barrels may be a maximum of 55 gallon capacity and a maximum 48" in height, set level on the ground. Concrete pavers, brick or tile may be used to level the ground. If elevated, submit the proposed platform for approval with the barrel. The exterior finish shall be a dark or neutral color such as black, charcoal or dark green. The barrel shall be closed with a lid, including an insect or debris screen. The overflow port shall include either a connector to a second rain barrel or a garden hose that is capped or screened to prevent access by insects.

- a) **Location:** Rain barrels may be located at downspouts along the rear facade or up to 3' forward of the rear house corners on side facades. The barrel should be positioned at a maximum of 12" from the house wall. The number of permitted rain barrels will be judged on a case-by-case basis depending on relative visibility.
- b) **Screening:** Rain barrels may be required to be screened from view with evergreen landscaping (preferred) or an approved screening fence. In visually sensitive locations, the ARC may require both a fence and evergreen landscaping.

3.4.7 YARD ORNAMENTS: Yard Ornaments, including but not limited to armillary spheres, gazing balls, sundials, statues, sculptures, urns, pottery, benches, bird baths, artifacts, etc. are subject to review by the ARC for design, size, quantity, material, color and location.

- a) Yard Ornaments may be approved if they meet the conditions of both (1) and (2) below:
 - 1) No more than two (2) ornaments are visible when viewed from the street. Additional ornaments are permitted if they are screened from view by landscaping or located behind the house
 - 2) Any ornament that is visible from the street shall meet the following additional criteria:

Size: limited to thirty inches [30"] in height with a base footprint no larger than twenty-four inches by twenty-four inches [24" x 24"].

Color: consistent with house color scheme if on the house, porch or steps; natural and neutral if in the yard.

Material: may be made of cement, ceramic, stucco, cast materials, wrought iron, metal or natural material. Yard ornaments made of plastic are specifically prohibited.

Location: well integrated within the landscape so that it is part of the overall design scheme

Design: neutral and consistent and supports an overall design theme. Ornaments including word messages, known symbols, human statues and figurines are specifically prohibited.

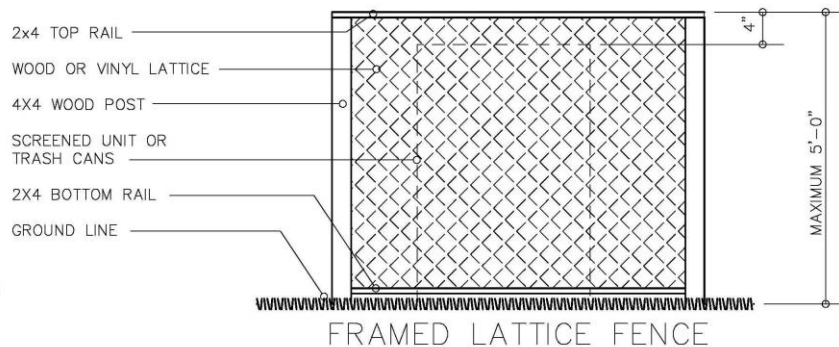
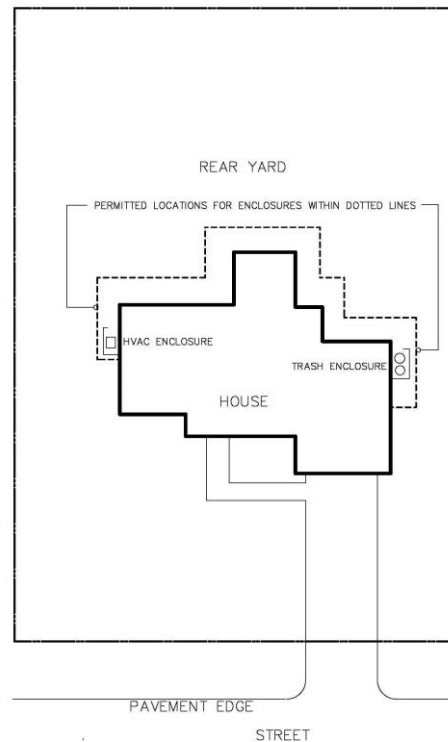
- b) Initial installation of landscape screening in order to fulfill the visibility requirement must be maintained as approved, or the ornament(s) must be removed.
- c) Holiday decorations are exempt from these criteria and may be displayed for up to two weeks following the holiday.

3.5 MECHANICAL, ELECTRICAL AND COMMUNICATIONS EQUIPMENT

3.5.1 HVAC EQUIPMENT, GENERATOR, TRASH CAN SCREENING LOCATION:

Equipment should be placed at the rear of the house or on either side towards the rear plane of the house. No equipment will be allowed on the front plane of the house.

- a) **SCREENING:** Required screening of exterior mechanical, gas powered, or electrical equipment or machinery is by finished or unfinished framed lattice fence properly supported, trimmed, level, and plumb. The ARC may require landscape screening in addition to fencing.



Equipment shall be screened on all visible sides. The height of the screening enclosure shall be at least 4" higher than the equipment or cans, but not more than five feet (5') high.

3.5.2 GENERATORS: Permanent generators should be installed either to the rear of the property or in the immediate vicinity of existing exterior HVAC unit. There is no restriction on manufacturer. However, all generators must be fully shrouded, i.e. enclosed in some type of housing, usually metal. There is no restriction on size (KW) provided the generator noise level, running at full load, does not exceed 73 dBA as measured at 15 feet from the generator. The generator manufacturer's noise specification will be the determinant for compliance with this criteria. No open frame generators will be approved for permanent installation.

3.5.3 GROUND MOUNTED SOLAR ARRAYS: Solar energy power generation is an emerging technology. The installation of a photovoltaic solar panel, or the construction of an array of multiple panels will be considered on a case by case basis. This equipment will be permitted to be located in rear yards only, and may be required to be screened from view from the street or other homes by vertical landscaping, including tall evergreen shrubs or trees. Additional restrictions may apply.

3.5.4 SATELLITE DISHES AND BROADCAST ANTENNAS: This paragraph regulates the placement of antennas and satellite dishes that are required to be permitted under the Federal Telecommunications Act. The maximum allowable size of a satellite dish is one meter (approximately 30") in height or width.

a) LOCATION: TV broadcast antennas should be located inside an attic area. To the extent feasible, satellite dishes should not be visible from the street. The following priorities shall be observed in determining dish locations:

- 1) Mounted directly on the rear of the house, on a roof plane facing the rear, or on the backside of a chimney.
- 2) Mounted on the ground in the rear.
- 3) Mounted on a pole, existing structure, or a tree in the rear yard if no clear signal may be obtained in any of the above locations.
- 4) If it can be demonstrated to the ARC that no clear signal may be obtained in any of the above locations, the satellite dish may be mounted on the ground. Or, if necessary,

it may be mounted on a pole in the front yard, or on the front plane of the house. Landscape screening may be required.

5) Satellite dishes and antennas must be removed when the service is changed or discontinued.

b) REVIEW BY THE ARC: It is not always feasible to have a proposed location for a satellite dish reviewed prior to installation. Dishes that are installed and brought to the attention of the Association, will be reviewed by the ARC in relation to the above criteria. If a less visible location appears to be available than the location chosen, the ARC may require that the owner relocate the dish or demonstrate why it cannot be relocated. Owners are encouraged to use care in the selection and placement of dishes to preserve the appearance, standards and character of The Woods at Summerford.

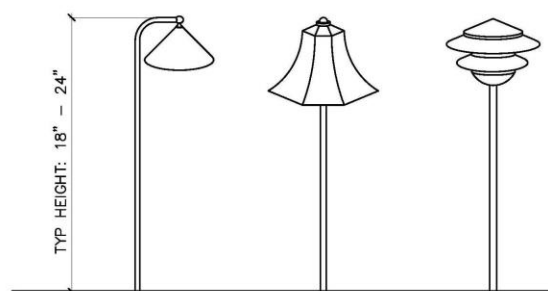
3.6 EXTERIOR LIGHTING AND FIXTURES

3.6.1 POST LAMPS: Post lamps are required in the front of every house, and shall be of a traditional style consistent with the house style. The fixture shall be mounted on a straight or Colonial turned post, generally not more than 8' tall. The lamppost should be located near the intersection of the front walk and the driveway. Other locations must be approved by the ARC.

3.6.2 HOUSE MOUNTED LIGHT FIXTURES: Permitted fixtures mounted on houses include wall mounted traditional style decorative lights at doors and garage entrances (compatible with the style of the house), ceiling mounted porch lights, and eave-mounted security lights. Lights mounted at other locations or for other purposes must be approved by the ARC. Eave mounted floodlights shall be hooded fixtures (no bare bulb in socket), shall direct light completely within the individual lot area and shall not be installed on the front eaves of the house.

3.6.3 LANDSCAPE LIGHTING: Only low voltage lighting may be used as landscape lighting. All landscape lighting must be directed (aimed) within the boundaries of the property. Incandescent fixtures may have a maximum of 50 incandescent watts except as otherwise noted. Non-incandescent lights shall have a lumens output no greater than the incandescent equivalent. Light emitted must be in the "warm white" spectrum (between 3000 and 4000 Kelvin).

a) PATHWAY LIGHTS: Path lights shall contain an invisible light source, which casts light down on a pathway or pavement.



TYPICAL PATHWAY LIGHTS

Pathway lights shall have a maximum of 20 incandescent watts (or a lumens output no greater than the incandescent equivalent for non-incandescent lights).

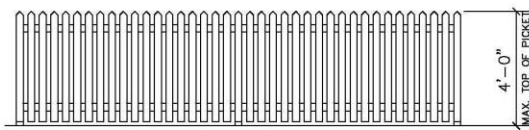
b) DIRECTIONAL FLOODLIGHTS ON FRONT FACADES AND UP-LIGHTS

FOR TREES: Fixtures must be integrated in landscape beds or camouflaged in adjacent shrubbery so as to not be readily visible.

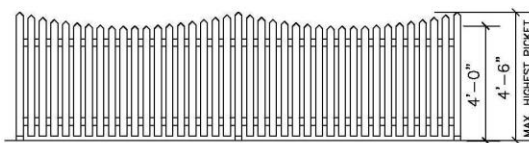
c) TREE-MOUNTED DOWN LIGHTS (“MOON LIGHTS”): The height of tree-mounted down-lights shall not exceed the height of the house. Lights must be installed in such a way that the light source is not visible to neighboring properties

3.7 FENCES AND GATES

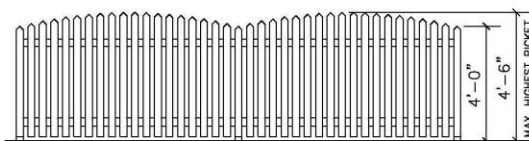
3.7.1 PERMITTED FENCE TYPES: Any reference to, or standard governing fences or walls, also includes gates as applicable. Permitted styles include open or solid wood or vinyl picket fences wrought iron or matching finished aluminum picket fences. Fences may be up to 48" high to the top of the fence, except that scallops, posts and piers may be higher as appropriate to the design. Wood fences may be constructed of treated wood or naturally decay resistant wood and may be unfinished or stained with an approved color. Pickets shall face to the outside of the yard. Iron and aluminum fences shall be factory painted in black or white.



STANDARD PICKET FENCE



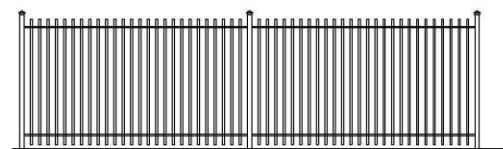
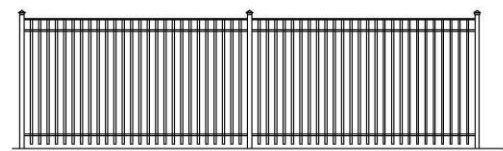
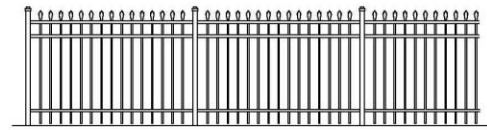
CONCAVE PICKET FENCE



CONVEX PICKET FENCE



CONVEX SOLID PICKET FENCE

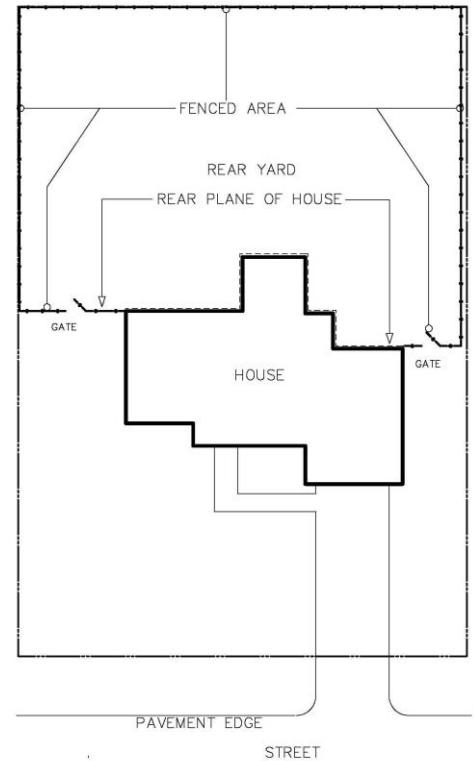


EXAMPLE ORNAMENTAL METAL FENCES

3.7.2 FENCE LOCATIONS: Fences may enclose the rear yard area, and shall not extend farther forward than the rear corners of the house. On corner lots, fences shall be held a minimum of twelve feet (12') off the corner side property line of the rear yard. The ARC reserves the right to require screening shrubbery along the outside of the fence on the street side. Fences that enclose the entire rear yard shall be constructed up to each lot line, but not directly on the line nor farther than 12" away from it. Fences designed to enclose a partial rear yard area away from any lot line shall be constructed no closer to that lot line than 48", and the lot owner shall be responsible to maintain all yard areas outside of the fence area in the same manner as the yard area within the fence.

3.7.3 PROHIBITED FENCE TYPES: Privacy fences, lattice fences (except for permitted screening enclosures), post and rail fences, chain link fences, wire fences, and fences with stamped metal posts are prohibited for use in any area of The Woods at Summerford. Any fence type not described in this article shall be submitted for review by the ARC to determine if it may be used.

3.7.4 ADJOINING FENCES: Where a new fence is constructed on a lot with an adjacent fence already in place at a property line, the new fence shall abut the end of the existing fence, using the existing fence as a portion of the yard enclosure.



3.8 PLAY EQUIPMENT AND STRUCTURES

3.8.1 DEFINITIONS:

a) **PLAY EQUIPMENT:** The Association requires approval of all permanent exterior play equipment, as defined below, PRIOR to placement on the lot. For the purposes of this article, permanent play structures and equipment shall include, but not be limited to the following:

- | | |
|------------------|--|
| Swing Sets | Jungle Gyms-Climbing Structures |
| Basketball Goals | Outdoor Athletic Workout Structures |
| Sliding Boards | Soccer Goals |
| Trampolines | Other Large Recreational/Amusement Devices |

b) **ENCLOSED STRUCTURES:** Forts, playhouses and dog houses with an interior height of 6' or less floor-to-ceiling, and with a total floor area of less than 36 square feet shall be considered to be play structures. Larger buildings are considered to be Accessory Buildings regulated under Article IV of these Standards.

3.8.2 PLACEMENT AND SCREENING:

- a) **PLACEMENT:** Play Equipment shall be located in rear yards only, within the building side setback lines and out of direct view from the street.
- b) **SCREENING:** To preserve privacy, and a harmonious neighborhood atmosphere, the ARC may require landscape screening for play equipment placed close to a neighbor's living area, or directly visible from a street.

3.8.3 CONSTRUCTION AND FINISH: Play equipment and enclosed structures may be constructed of wood or other materials (including metals). Factory-built equipment shall be pre-finished and shall not be bare or mill finish metal. Home-built play equipment or enclosed structures should be of high quality workmanlike construction, and be neat and orderly in appearance and finish. Attachments such as slides, canvas swing seats, awnings, disk swings, etc., should be dark green, if possible. Alternative colors must be approved by the ARC before installation.

3.8.4 BASKETBALL GOALS: Basketball goals may be installed adjacent to driveways in accordance with the following criteria:

- a) Basketball goals may be mounted on a pole on the side of the driveway facing the house or at the rear of the driveway, and no farther forward than 15' in front of the garage face. Portable basketball hoops must be placed in the same manner.
- b) The mounting pole must be a neutral color in pre-finished metal.

3.8.5 USE OF EQUIPMENT AND STRUCTURES:

- a) Homeowners should exercise care and common courtesy in using play equipment that creates noise (e.g., basketball goals).
- b) Play equipment which has fallen into disrepair or has been outgrown by children and is not used, should be removed from the property. No play equipment may be replaced without ARC approval.

3.9 VEHICLES AND STORAGE CONTAINERS AND WOOD PILES

3.9.1 VEHICLES AND PARKING: The following vehicles may not be parked or stored on any lot (except in an approved garage), common area, or street in The Woods at Summerford: campers, house trailers, horse and utility trailers, recreational vehicles, boats, motorcycles, school buses, or commercial vehicles over 6,000 pounds net vehicle weight, or with dual axles; inoperable vehicles, vehicles without current registration, or similar items. These vehicles must be garaged or parked outside of the community. Major vehicle repairs may not

be undertaken except in enclosed garages. Minor emergency repairs such as battery changing, replacing a flat tire or jump-starting are permitted in the open on any lot

3.9.2 STORAGE CONTAINERS: No storage containers may be visible on a property or parked on any road in The Woods at Summerford between 7 p. m. and 7 a. m. unless pre-approved by ARC. Approvals will only be granted on a temporary and non-recurring basis.

3.9.3 WOOD PILES: Firewood may be stored on lots in the rear yard only and no closer than 10' to any lot line adjoining another lot, and not on the corner side of any rear yard on a corner lot. Any structure designed to cover a wood pile will be reviewed as a "minor structure" under paragraph 3.4.5.

3.9.4 TEMPORARY MATERIALS STORAGE: Temporary storage of construction, yard work, or landscape materials is permitted in rear yards only. Materials may be covered with natural (green, tan or brown) colored tarpaulins. Bright colored tarpaulins are not permitted. All temporary materials shall be removed within 60 days.

3.9.5 LANDSCAPE MAINTENANCE: The following minimum maintenance standards apply to all improvements in this Article.

- a) **LAWNS:** All lawns must have regular periodic mowing and the removal of unsightly debris. Every effort must be evidenced for the promotion of healthy grasses and the elimination or avoidance of weeds and unwanted grass types such as Bermuda.
- b) **SHRUBS AND PLANTING BEDS:** Open areas between plantings are to be maintained with pine needle, pine bark, or shredded hardwood mulch, and should be kept free of weeds and debris.
- c) **MINIMUM SHRUBS, TREES AND LANDSCAPE SCREENS:** The original requirements for foundation plantings and trees must be maintained and any of those plantings or trees that have died, must be replaced. Likewise, any landscaping approved for screening purposes must also be maintained unless the reason for that screening has been removed and approval is granted by the ARC.
- d) **DEBRIS REMOVAL:** Residents and landscape services must dispose of debris properly, and as soon as practical. Logs, leaves, cut up trees, Christmas trees, grass clippings and any other debris may not be deposited on neighboring lots or common areas.
- e) **MAILBOXES:** Maintenance of the standard mailbox, post, and paper box is the responsibility of each homeowner. Mailboxes with mildewed or peeling paint, leaning posts, extreme scarring at the bottom from weed whackers, damage, cracked or broken members shall be restored.

- f) **LANDSCAPE ACCESSORIES:** All landscape accessories including but not limited to arbors, fountains, permanent barbecues, statues, ornaments, etc. shall be maintained in good physical condition. Working mechanisms shall be maintained in good working order. Accessories that become damaged, dislodged, broken, excessively weathered or discolored, and which are not restored or repaired, shall be removed.
- g) **PAVEMENTS:** Weeds growing through joints or cracks in the surface of any pavement shall be removed (to maintain visual quality and preserve pavement life). Sections of concrete driveways, walkways, or patios that develop large open cracks, cracks with loose pieces or sections, spalling (surface disintegration from pitting and/or separation into chips), extensive raveling (surface disintegration into loose stones), or differential settlement or heaving, shall be replaced.
- h) **MECHANICAL, ELECTRICAL AND COMMUNICATIONS EQUIPMENT:** Malfunctioning mechanical equipment such as condensers, exterior furnaces, generators, etc, which create unusual noise such as tapping, rattling, banging, whining, screeching, etc., shall be replaced or repaired as necessary to eliminate the noise. Any equipment that is replaced or modified with larger or relocated units shall be required to be fully screened in the same manner as the original approved enclosure. Relocation or enlargement of enclosures must be approved by the ARC. Satellite dishes that are no longer in use shall be removed from any exterior location.
- i) **FENCES, WALLS AND GATES:** All fences shall be maintained in good repair and be kept straight and true. Gates shall be maintained in good working order. Any stained or painted fences that become discolored from fading, and paint that chips or blisters off shall be re-finished to originally approved condition. Where landscape screening was a condition of approval of a fence, said screening shall be maintained in place and in a healthy viable condition. Dead or diseased plants shall be replaced with like material of the originally required size (minimum).

ARTICLE IV: ARCHITECTURAL GUIDELINES

4.1 ARCHITECTURAL GUIDELINES - GENERAL

4.1.1 TYPE OF RESIDENCE: Only single-family residences are permitted in the neighborhoods of The Woods at Summerford.

4.1.2 PROXIMITY OF SIMILAR HOUSES: The ARC reserves the right to reject the placement of houses with the same or substantially similar elevations located within sight of each other or on the same street. The ARC shall make final judgment as to the degree of acceptable similarities permitted in each neighborhood.

4.1.3 MINIMUM FLOOR AREAS: Minimum finished floor area shall be 2,000 square feet for a single story home and 2,800 square feet for a two-story home. The following areas may not be used to help meet the minimum finished floor area: garages, basements, open or screened porches, terraces, decks, attics, attached storage sheds, or unfinished “bonus rooms” on the first or second floors.

4.1.4 MAXIMUM SIZE: The house along with any porches, decks or patios, driveways and other impermeable pavements, may not cover more than 30% of the useable lot area (not including wetland areas). Houses shall not be more than 2 ½ stories in height above a crawl space or basement. (½ story is defined as useable floor area under a gabled roof.)

4.1.5 HOUSE DESIGN CONCEPTS: Houses in The Woods at Summerford shall be designed with traditional or transitional exterior facades. Facades shall use generally traditional design elements as defined in this Article. Primary design requirements for The Woods at Summerford houses include:

- a) **TRADITIONAL OR TRANSITIONAL HOUSE STYLES:** Architectural styles are derived from historical styles such as Georgian, Adam, Greek Revival, Colonial Revival, Tudor, French Country, Queen Anne, and Craftsman. Transitional styles include houses of mixed historical styles and eclectic styles.
- b) **MASSING, SCALE AND OPENINGS:** Exterior walls, planes, and masses shall be of a residential scale consistent with the residential scale of the community. The ARC reserves the right to require that large planes be broken up with additional windows, or offsets to maintain appropriate scale. Walls without any openings will generally not be approved. Conceptually, walls should predominate over windows, and all fenestration (window and door openings) shall have a strong exterior organization. Elevations that are exposed to direct view from roads will be carefully reviewed for conformance to style, proportion, window openings, etc. Generally, windows and doors on facades visible from the street

shall be of traditional design. Contemporary styled windows may be permitted on rear elevations.

- c) **ENTRANCE ORIENTATION:** All homes shall have a front-facing main entrance. The design should emphasize the main front entry and de-emphasize the garage entry.
- d) **UNAPPROVED DESIGNS:** The ARC reserves the right to reject highly stylized houses with overstated eclectic design elements, contemporary designs, houses with overly mixed styles, or houses with insufficient stylistic theme or treatment.

4.1.6 GARAGES: Each new house shall be constructed with a minimum 2-car garage. Garages shall be integrated into the overall design and massing of the house. Front, side, and rear entry garages are permitted.

4.2 ARCHITECTURAL GUIDELINES - CONSTRUCTION

4.2.1 FOUNDATIONS AND MASONRY:

- a) **PERMITTED FOUNDATION MATERIALS:** All visible portions of exterior foundations shall be constructed of brick or stone. For houses with primary facades constructed entirely of brick, the foundation brick shall match the brick facade. Synthetic stucco foundations may be permitted for facades entirely constructed of synthetic stucco
- b) **COORDINATION OF COLORS:** Masonry and mortar colors should be coordinated with other colors on the house, and must be approved by the ARC.
- c) **FOUNDATION VENTS:** Foundation vents on front facades shall be organized in relation to first floor house windows and shall be decorative louvered vents (wood or PVC).
- d) **STEPPED-DOWN SIDING:** Siding may not step down below the first floor level on front facades. Stepping down may be permitted upon ARB approval, for other facades.

4.2.2 FIREPLACES, CHIMNEYS AND FLUES:

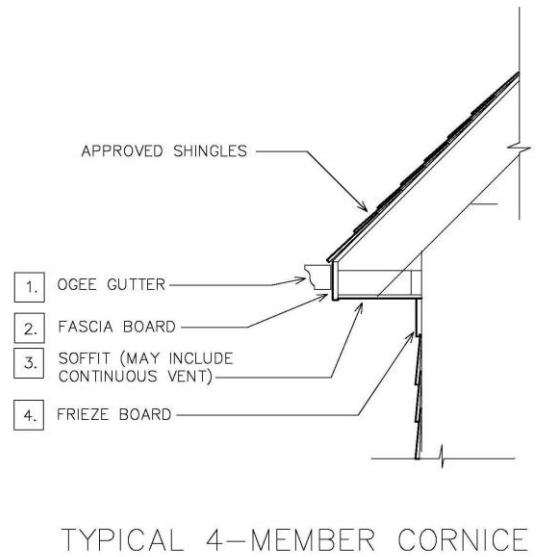
- a) **PERMITTED CHIMNEY TYPES:** When chimneys are used, they may be sided to match the house siding, with masonry foundations to match the house foundation, or may be all masonry to match the house foundation. Chimneys on the rear of a house may be cantilevered.
- b) **METAL FLUE REQUIREMENTS:** Unenclosed metal gas flues shall be located on rear roof planes or side planes that do not face the front entrance. Heights shall be the minimum required by code.

- c) **DIRECT VENT FIREPLACES:** For direct vent gas fireplace boxes which protrude beyond the exterior plane of the house, the frame structure shall have a foundation to match the house foundation, or may be cantilevered on the rear of the home. Exterior materials and finishes used to enclose the fireplace box must match the adjacent facade.

4.2.3 EXTERIOR SIDING:

- a) **PERMITTED SIDING:** Permitted siding materials include wood, cement fiber, or vinyl lap siding or shingle style siding; brick, stucco, synthetic stucco, and natural or man-made stone. Aluminum siding, plywood or flat board siding, exposed concrete block, or cast stone block may not be used. Where siding materials are used in combination they shall be aesthetically compatible with each other as determined by the ARC.
- b) **VINYL SIDING CRITERIA:** Vinyl siding shall have a minimum wall thickness of .044". There shall be no horizontal joints in runs of less than 12'; one permitted joint in runs over 12' up to 18'; two permitted joints in runs over 18' up to 30'. No stair-step joint patterns are permitted.

4.2.4 EXTERIOR TRIM: Exterior architectural detailing shall be consistent with the overall design theme of the house. Eaves, band boards, cornices, rakes, columns, pilasters, corner boards, vents, window and door trim shall be consistent with the style of the house and sized appropriately to the scale of the house. The ARC reserves the right to require modifications to the facade to accommodate appropriate trim. All front facades shall have a minimum four (4)-member cornice and eave consisting of frieze board, eave, fascia and either crown mold or gutter. Rakes shall be either flat or boxed depending on the architectural style of the house. The ARC reserves the right to require boxed rakes where necessary to be consistent with the architectural style of the house.

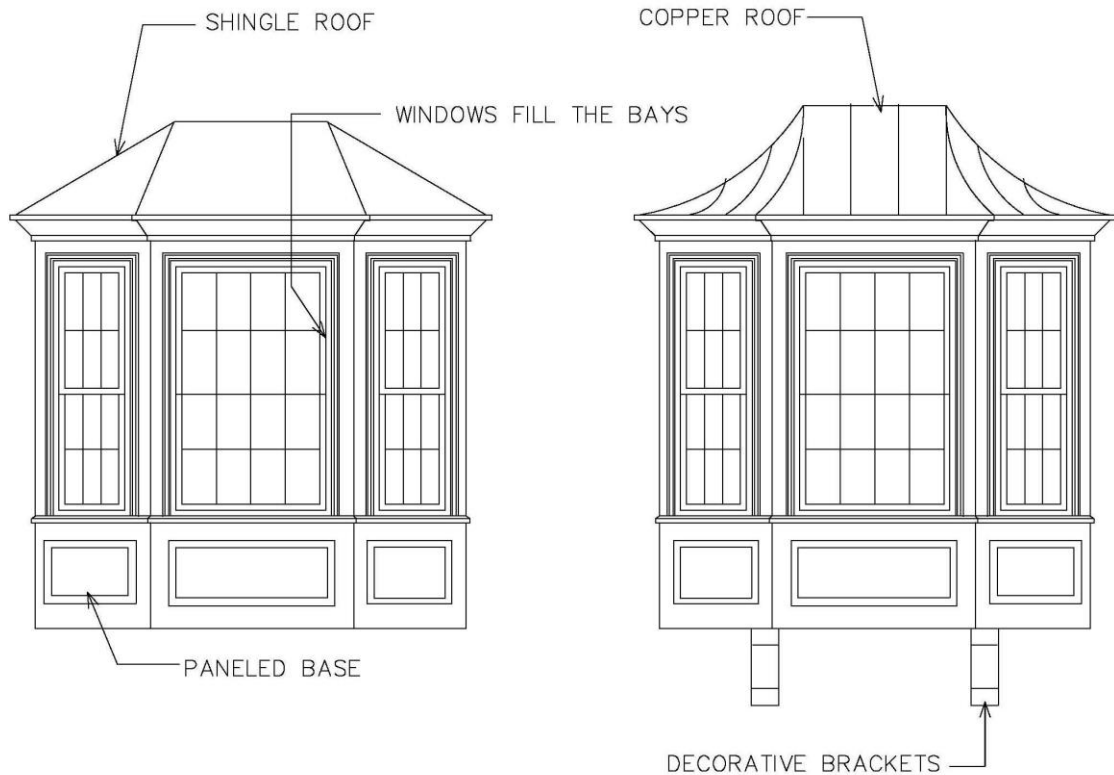


4.2.5 WINDOWS AND DOORS:

- a) **WINDOWS ON FRONT AND SIDE FACADES:** Windows may be painted wood, clad wood or solid vinyl. Vinyl windows must be similar in appearance to traditional wood windows. All windows shall be finished in the same color. Window designs sizes and

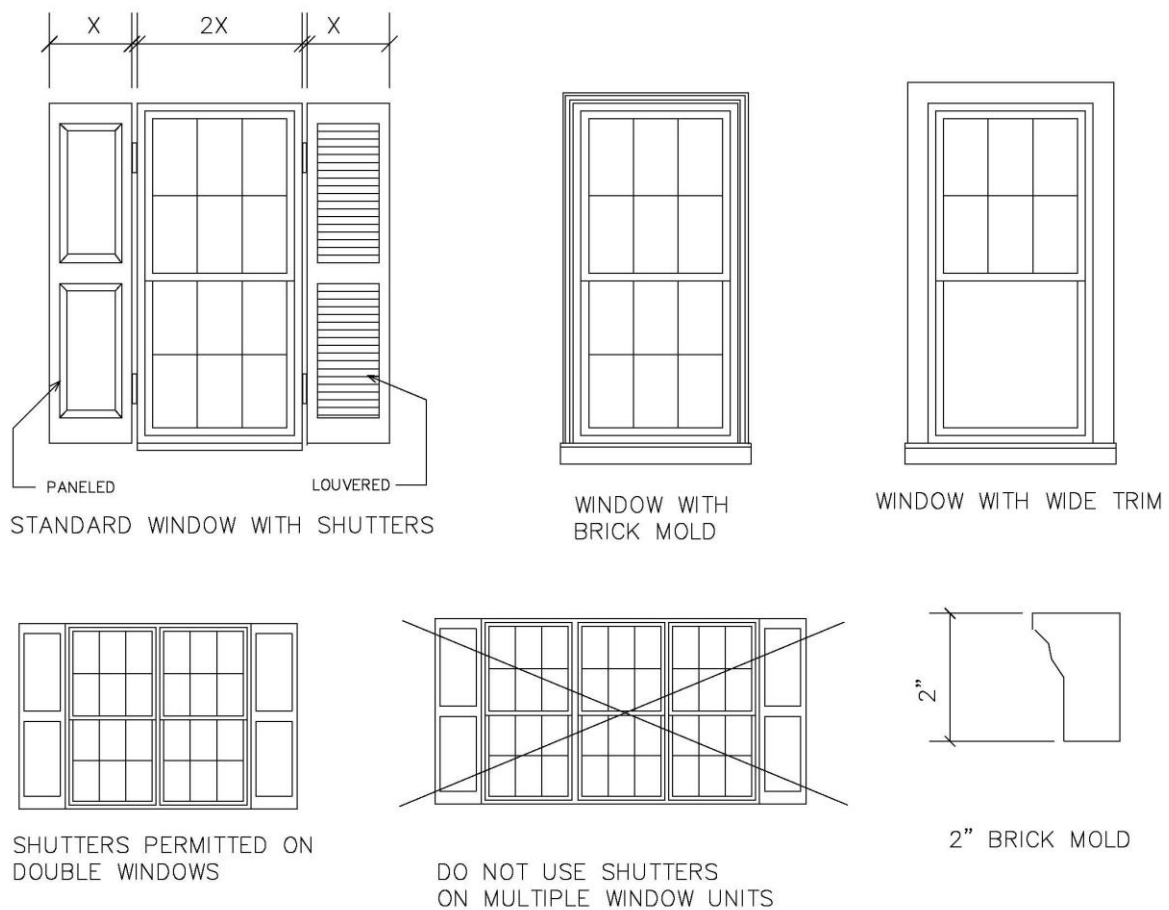
locations shall be appropriate to the architectural style of the house. Aesthetic design consideration shall be given to the location of all windows that face the front of the house, or any other street. Windows are required on all elevations. Window head heights shall be uniform except for special windows, circle heads and transom windows. Circle and elliptical head windows are permitted. The ARC reserves the right to require different styles, sizes or locations of windows when, in its opinion these changes are necessary to maintain the aesthetic quality of the facade.

- b) **BAY WINDOWS:** On front facades, bay windows must be wide enough to fill each bay facade without filling with siding. Cantilevered bays and bays on foundations shall utilize raised panel facades below windows. No lap siding may be used. Bays elevated at one (1) story above grade shall have finished decorative trim or brackets under the bay.



- c) **WINDOWS ON REAR FACADES:** Windows on rear facades shall be consistent with windows on other facades except that sunrooms and solariums may have different window styles upon approval by the ARC. Sash colors shall be the same as front windows.
- d) **REPLACEMENT WINDOWS:** Replacement windows shall match the original windows in design and detail. Where less than all windows are replaced, the replacement windows shall be the same color as the existing windows.
- e) **WINDOW AIR CONDITIONERS:** Window air conditioning units are prohibited.

- f) **AWNINGS:** Fabric awnings may be permitted on rear house elevations only. They must be compatible with the color of the house, and must be retractable, without knee braces or other supports. Awnings that have become faded, frayed, torn or otherwise damaged, will be required to be replaced or removed.
- g) **WINDOW TRIM AND SHUTTERS:** Windows on front facades shall be trimmed with brick mold or wider built-up moldings, and/or may have shutters. Shutters should be compatible with the style, materials and colors of the house and should be of proper proportions to the windows they adjoin. Shutters will be restricted to single or double windows. No changes to originally approved shutters are permitted unless approved by the ARC.



- h) **FRONT DOORS:** Door styles must be submitted for approval. Front doors may be a different color from other elements on the house, but must be compatible with the house color scheme in the opinion of the ARC. Storm doors shall be compatible with the units that they cover and with the style and color of the house. Excess ornamentation not consistent with other ornamentation on the house, is prohibited. In general, single full lite

doors or traditional multiple lite doors which match the design characteristics of the doors they cover will be approved.

- i) **GARAGE DOORS:** Garage door detailing shall be consistent with the architectural style of the house. Generally this means that paneled doors should be used, however, carriage style Craftsman doors may be used on Craftsman styled houses.

4.2.6 ROOFS AND ROOF ACCESSORIES:

- a) **ROOF PITCHES:** Minimum roof pitch on main house roof shall be eight (8) in twelve (12). The ARC may require a steeper pitch on any roof for aesthetic reasons. Secondary roofs shall generally have a minimum slope of three (3) in twelve (12). Lower slopes or flat roofs for porches or other limited elements will be considered on a case-by-case basis depending on the architectural merits of the design. Combination mansard and flat roofs will not be approved.
- b) **ROOF MATERIALS:** Roof materials are generally dimensional composition shingles, also called architectural shingles, and shall carry a minimum 30 year warranty. Shingles shall be a medium to dark brown, gray, weathered wood, or charcoal black. Light tone and color shingles such as red, green or blue will not be approved. Upgraded materials such as cedar or treated pine shingles or shakes, slate (or approved simulated slate), simulated shingles (concrete), will be considered for complete roofs. Standing seam metal may be considered for accessory roofs such as at porches, bay windows or on eave returns. Membrane roofing may be considered for incidental flat roof areas in non-visible locations (as viewed from any surrounding property) or for a terrace above a room or porch area.
- c) **GUTTERS AND DOWNSPOUTS:** Gutters and downspouts shall be pre-finished to match the house trim color. Copper gutters and downspouts are permitted on masonry facades.
- d) **FLASHING:** Highly visible roof flashing shall be copper or pre-finished to match the adjacent building material color. Painting is acceptable for less visible flashing; however, no exposed mill finished flashing is permitted. Imitation copper will not be permitted.
- e) **ROOF VENTS:** Attic ventilators and other roof penetrations shall be low profile designs. Roof vents shall be painted flat black or a color to match roof shingles. No roof penetrations, metal ridge vents, or accessories shall be visible above the ridge of the roof nor shall they be located on the front roof plane of the house. Continuous ridge vents of the type that are covered with roof shingles are permitted.
- f) **ROOF DORMERS:** Dormer windows and eyebrow windows are permitted as consistent with the style of the home.

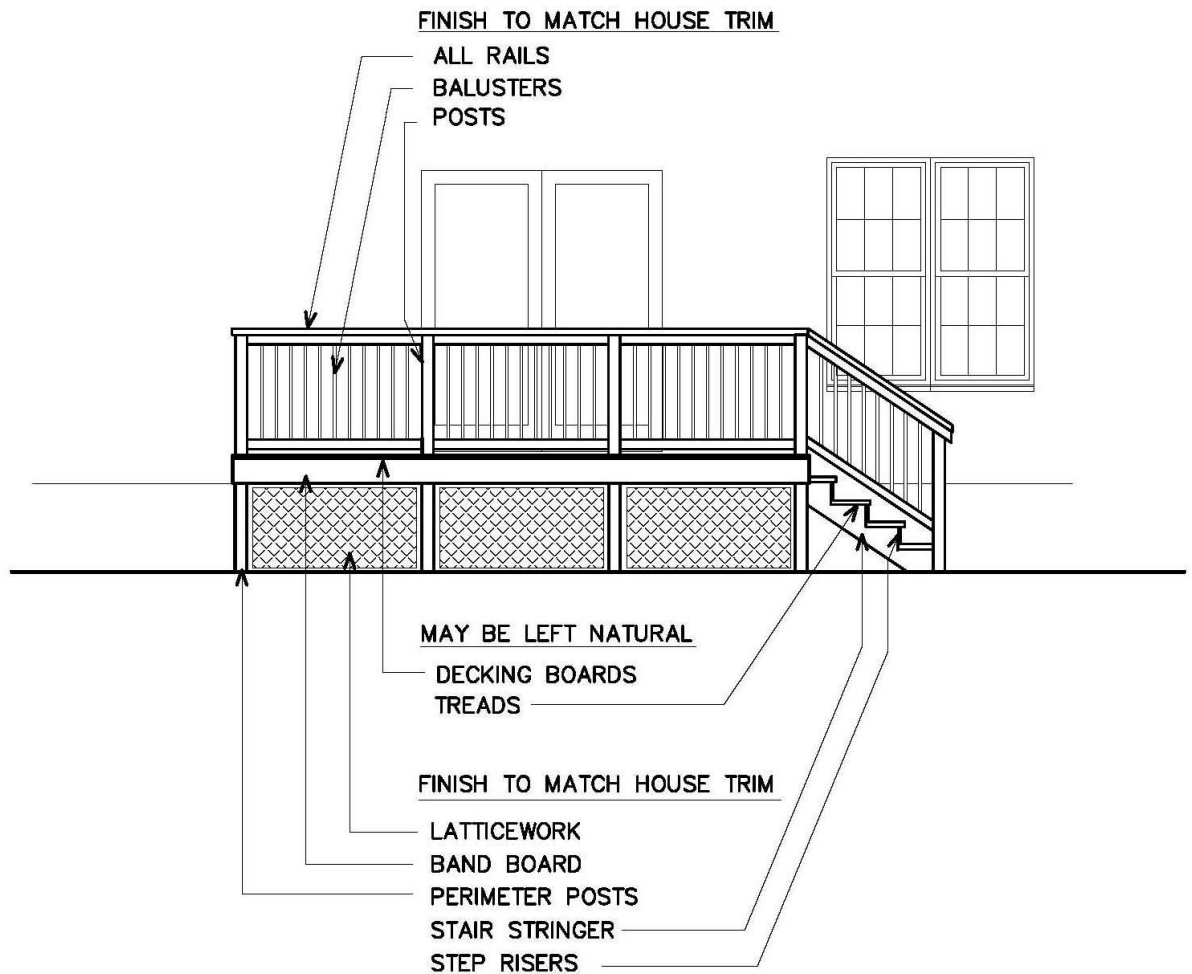
- g) **SKYLIGHTS AND SOLAR TUBES:** Skylights and solar tubes will not be approved for the front roof planes of houses. Where skylights are permitted, they shall be flat glass style roof windows, trimmed in pre-finished metal similar to the roof color.
- h) **SOLAR COLLECTORS:** Solar collectors for hot water heat or photovoltaic power generation may only be considered where they set flat on the house roof. Collectors shall not be placed on front roof planes or side planes that face the house front. Collectors raised on frames above the roof plane will not be approved.

4.2.7 PORCHES AND DECKS:

- a) **PORCH CONSTRUCTION:** All stoops and porches shall be constructed of finished materials to match the house. Band boards, handrails and railings shall be painted wood, or prefinished composite or metal railing of a design to match the character and style of the house. Columns supporting roofs of porches and covered stoops on primary facades shall be tapered round columns or square box columns of a width appropriate to the character of the house. Solid turned or square posts are generally not permitted at front porches, but may be considered for other locations.
- b) **FRONT PORCH WIDTH:** For any new house or new front porch constructed after the issue date of these Standards, front porches shall be a minimum of five feet (5') wide from the house face to the porch floor edge.
- c) **PORCH FOUNDATIONS:** Front stoops shall be supported on continuous masonry foundations. Larger front porches and all other porches may be constructed on minimum 12"x 12" brick or stone piers (to match the house foundation with painted or pre-finished framed lattice panels between).
- d) **PORCH FLOORS:** Uncovered and covered front stoops shall be solid masonry to match the house foundation. Porches may have masonry, stone, tile, wood or composite flooring. Composite flooring shall be similar in size and general color to new or weathered wood decking. Wood or composite flooring requires a continuous edge trim that is finished to match the house trim.
- e) **REAR DECK CONSTRUCTION:** Rear patio decks shall be constructed of quality exterior grade or pressure treated wood, including steps with closed risers and railings. Substitute composite materials for decking boards will be considered if similar in size and general color to new or weathered wood decking. Decks shall be supported on minimum 6 X 6 wood posts. The space beneath all decks higher than two feet (2') above grade but less than one story above grade shall be enclosed with lattice or other approved screening

material. Foundation planting may be required around the base of decks visible from the street.

- f) **DECK FINISH:** Deck flooring may be constructed entirely of unfinished treated lumber; however staining or painting of decks is acceptable. All vertical faces and all railings shall be painted or stained wood, composite or pre-finished metal consistent with the house color scheme. Pre-finished metal railings designed to look like black iron railings will be considered.



- g) **RAISED TERRACES:** Raised terraces may be constructed utilizing paving materials as permitted for patios and walks. Exposed foundation walls of raised terraces shall match the house foundation. Railings shall be painted or stained wood, composite or pre-finished metal consistent with the house color scheme. Pre-finished metal railings designed to look like black iron railings will be considered.
- h) **PERGOLAS:** Framed pergolas over decks, terraces or patios shall be constructed of wood, composite or PVC board and finished to match the house trim color. Support may be by square posts or decorative columns.

- i) **RAMPS (for Accessibility):** Where a ramp is required by a home occupant for accessibility in accordance with the Americans With Disabilities Act (ADA), the ARC will permit ramps that are consistent with the design and materials of the adjacent porch or stoop. Like all exterior structures, these must be approved as to design and location, by the ARC. The ARC reserves the right to require removal of the ramp when the need no longer exists for that property.
- j) **SPAS:** Spas and hot tubs are permitted on attached rear decks, porches or terraces. Remote decks for spas or free standing spa units must be located directly behind the house and no closer than 20' to any property line. Spas must be screened so as not to be visible from the street or neighboring yards.

4.3 ARCHITECTURAL GUIDELINES - COLOR

4.3.1 TYPES OF APPROVED FINISHES:

- a) All exterior colors and finishes must be approved by the ARC prior to painting or the application of pre-finished materials.
- b) Painted siding shall be painted with opaque stain oil or latex based exterior house paint. Semi-transparent stains and clear finishes are not permitted.

4.3.2 HOUSE COLOR SCHEMES: In addition to masonry and roofs, houses may have up to four colors including (1) siding color, (2) trim color, (3) shutter color, and (4) front door color. Craftsman style houses without shutters may have one main siding color and one accent siding color if shingle siding is used for an accent. Secondary doors may match the front door or the trim color. Garage doors shall generally be the trim color, but may match either the siding or front door color upon approval by the ARC. Doors and shutters shall be one color for the entire exterior surface, regardless of detailing, paneling, etc.

4.3.3 CRITERIA FOR JUDGING COLOR: The same or very similar color schemes may not be used on adjacent houses or on houses directly across from each other. Color selections are not limited to a restricted list; however, colors should generally be muted in hue, especially for large areas such as siding. Stronger colors may be approved for focal points such as doors and shutters. Colors selected must be harmonious with each other and with other finishes such as masonry foundations, and roof colors. Shingle and metal roof colors shall be submitted at the same time as house colors. Provide a sample or color chip for approval.

4.4 ADDITIONS TO HOUSES

4.4.1 CONSISTENCY OF DESIGN: To ensure consistency in the design of the house and to minimize visual disruption of the neighborhood, additions must match the design

characteristics of the house. These requirements apply to any house addition including site-built, factory-built and pre-fabricated modular additions. The architectural style shall match the style of the house. The massing of the addition shall be similar in the use of shapes to that of the house, but proportionately smaller so as not to overpower the house. Roof styles and slopes shall be similar. Architectural elements such as corner and rake boards, soffits, eaves, window and door trim, and shutters shall match the style of the same elements on the house. All exterior finish materials and colors shall match the house. Matching colors on dissimilar materials is not acceptable.

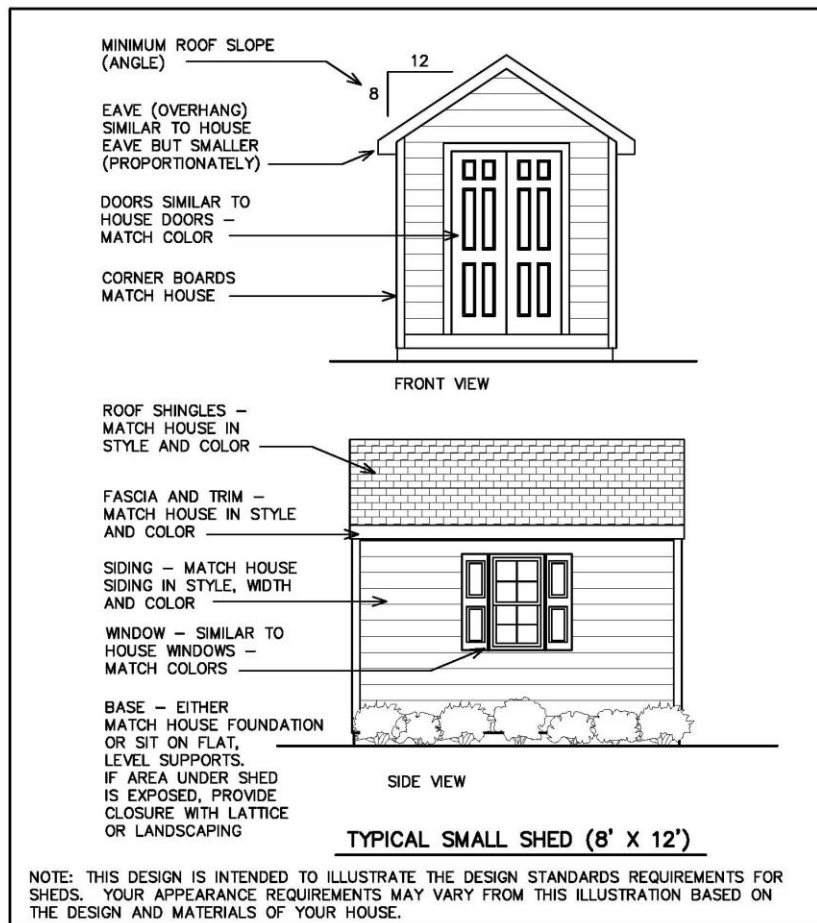
4.4.2 MAXIMUM SIZE: The house along with any porches, decks or patios, additions, driveways and other impermeable pavements, may not cover more than 30% of the useable lot area (not including wetland areas).

4.4.3 FOUNDATIONS: Room additions utilizing sided walls and windows shall be constructed on continuous masonry foundations to match the house foundation. Porch and fully glazed sunrooms or solariums may be constructed on brick piers. The space beneath any structure constructed on piers (including decks) higher than two feet (2') above grade, but less than one story above grade, shall be enclosed with framed lattice.

4.4.4 WINDOWS AND DOORS: Openings shall be required in additions, including windows and doors, at a minimum, in a similar fashion and extent as in the original house. Windows and doors shall be of matching material as those in the house. In general windows and doors should match the style of those in the existing house. Exceptions may be granted at the discretion of the ARC for sunrooms or solariums.

4.5 ACCESSORY BUILDINGS

4.5.1 CONSISTENCY OF DESIGN: Accessory buildings shall match the adjacent house in general style and finish. Economy kits from home-improvement stores and plastic sheds are not permitted. The architectural style shall match the style of the house. Roof styles and slopes shall be similar, i.e.: gable roof with gable roof house, etc. Roofs shall be constructed at a minimum 8 in 12 slope. Architectural elements such as corner and rake boards, soffits, eaves, window and door trim, and shutters shall match the style of the same elements on the house. All exterior finish materials and colors shall match the house. Matching colors on dissimilar materials is not acceptable.



- 4.5.2 MAXIMUM SIZE:** The house along with any porches, decks or patios, additions, driveways and other impermeable pavements, and accessory buildings may not cover more than 30% of the useable lot area (not including wetland areas). Accessory buildings may not exceed 1 ½ stories in height. On-half story is defined as the floor area under a gable roof.
- 4.5.3 FOUNDATIONS:** Small buildings up to 160 square feet in size may be constructed on skids or piers, set level and plum. The ARC reserves the right to require landscape screening of the foundation area if the building floor is raised off the ground. Buildings larger than 160 square feet shall be set on foundations which match the house foundation.
- 4.5.4 WINDOWS AND DOORS:** Windows and doors in accessory buildings shall be similar in style to those in the house. (Alternate styles of shed doors may be approved at the discretion of the ARC)
- 4.5.5 GREENHOUSES:** Glazed structures designed for growing plants in controlled conditions, may be approved by the ARC in locations not generally visible from the street or neighboring properties, as the interior is visible from the exterior and can not always be visually controlled. Greenhouse framing shall be of finished materials of a color compatible with the house.
- 4.5.6 GAZEBOS:** Acceptable gazebos shall generally be octagonal (8) sided structures consisting of a base deck, decorative columns or posts, optional railings, and a sloped roof. Stepped

roofs and/or cupolas may be added. Structures of other shapes such as square structures will be considered on the basis of equal architectural merit. Additional standards include:

- a) **SIZE:** Maximum size is regulated by paragraph 4.5.2 and the maximum width of a gazebo across flat sides shall be 14'. The maximum height from gazebo deck to eave edge shall be eight feet (8'). Gazebos shall have roof slopes generally of at least eight (8) in twelve (12). Slopes shall be appropriate to size and style of gazebo.
- b) **CONSTRUCTION:** Gazebos shall be constructed of finish materials in the same manner as porches (See paragraph 4.2.7). Additional trim, detailing, brackets, cupolas, etc. shall be appropriate to the design and size of the gazebo. The ARC reserves the right to deny gazebo designs with excessive and inappropriate detail, as well as with insufficient detail. Gazebos may be built on site or assembled from kits. Applications for approval must include either scale drawings of plans and elevations, or manufacturer's brochure showing the exact gazebo being purchased, with dimensions and specifications. Trim and roof colors shall be consistent with house colors.

4.6 MAINTENANCE GUIDELINES FOR STRUCTURES

4.6.1 BUILDING EXTERIORS: All facades and roofs shall be kept in good condition, as close to the originally approved appearance as reasonably possible. Mold or mildew shall be removed. Paint that becomes worn and excessively faded shall be re-coated. Peeled, cracked or chipped paint shall be removed prior to re-coating. Damaged siding, trim or otherwise physically deteriorated members shall be replaced. Where windows were approved with specific trim, including grills (muntins or mullions) those units shall be maintained in the windows unless otherwise approved by the ARC for a change in design. Replacement windows or doors shall match original units. If a material, color or finish is changed on the house, the same change shall be made on like materials on the dependency or accessory structure at the same time.

4.6.2 REMOVAL / REPLACEMENT: Structures shall be removed from the property if they become damaged or are in disrepair, and full restoration is not possible or desired by the owner. Any replacement structure must be approved by the ARC prior to installation or construction.

APENDIX A: ARCHITECTURAL AND CONSTRUCTION TERMINOLOGY

ARCH - A structural method of spanning an opening, usually with masonry whereby curved, pointed or flat upper edges of the opening are formed.

ARCHITECTURAL DRAWINGS - A set of detailed drawings, which are used by the contractor to build a house. The drawing set includes floor plans, elevations of all sides of the house, building sections to identify all building materials and details. The plans are usually drawn at a 1/4"=1'-0".

AWNING- A projected cover above a window, door or multiple openings, supported from the exterior wall, and intended to provide protection from the sun. A similar cover that extends over a portion of a deck or patio. (Retractable Awning: a projected cover that can be closed to a no projected position, against the wall, when not in use).

BUILDER: Anyone performing construction under contract to a lot owner. See also "Contractor". A builder does not have a contractual relationship with the Association unless he/she is also the lot owner. The lot owner is responsible for all improvements on his/her lot being in compliance with these Standards and the Covenants.

BUILDING ENVELOPE - Area of a site where building is permitted as defined by the setbacklines.

CLEARING - Complete removal of natural vegetation from the area of construction

COMMON AREA/OPEN SPACE- Areas within the community, other than those owned by individual homeowners that are held in common by homeowners associations and maintained by these associations.

CONTRACTOR: A builder or other person providing construction or installation services to a lot owner for an improvement to a lot. A contractor does not have a contractual relationship with the Association unless he/she is also the lot owner. The lot owner is responsible for all improvements on his/her lot being in compliance with these Standards and the Covenants.

CORNICES- Exterior trim of a structure at the eave; usually consists of bead molding, soffit, fascia and crown molding.

CORNER BOARDS - Vertical boards installed on the corners of wood-sided homes to cover the ends of the siding.

DENTIL MOLDING - Molding that consists of a band of small square tooth-like blocks forming part of the eave. Larger blocks, also called Modillion Blocks are also commonly referred to as Dentil Molding.

DIMENSIONAL COMPOSITION - Asphalt/fiberglass roofing material manufactured in laminated shinglelayers to achieve the depth and dimension variation that simulates the look of wood shingles or slate. The material is embedded with the color grain to provide a variety of roofing color schemes.

DORMER WINDOW- Vertical window which projects from a sloping roof placed in a small gabled enclosure projection.

DOUBLE HUNG WINDOW- Window with two vertically operating sashes sliding in two directions to enclose the opening.

DRIP LINE OF A TREE- Imaginary line projected vertically from the outside edge of the branches.

EASEMENT- A right afforded a person or governmental entity to make limited use of another person's real property such as a right-of-way through a lot established for utilities access.

EAVE- The lower edge of a sloping roof that projects beyond the wall.

ELEVATION (BUILDING) - Exterior face of a structure front, side, and rear.

ELEVATION (TOPOGRAPHIC) - The height of the ground above sea level at a specified point or line (as specified on topographic maps and site plans).

EVERGREEN SHRUBS - Shrubs that do not shed their leaf growth seasonally.

EYEBROW WINDOW - A low dormer on the slope of a roof formed by the roofing material being carried over the opening in a wave line.

FAÇADE- Exterior face in a building, also called an Elevation

FINISH- A coating applied to a material either factory applied or on the job site, such as paint or stain.

FINISHED FLOOR AREA - Amount of space within a structure that is conditioned (heated/cooled) area and in which all construction is complete to a finished state.

FLOOD PLAIN - Land that borders a body of water, which may be subject to flooding.

FLOOR PLAN - A drawing showing the layout of the enclosing walls of a structure its doors and windows and the arrangements of the interior spaces as viewed from above.

FOOTPRINT- Outline of a structure as viewed from above.

FOUNDATION (FOOTERS)- The structural base whereby the entire load from the building is transmitted to the ground. The foundation wall is usually constructed out of masonry materials. The footer runs under the foundation wall and is typically concrete.

GABLE- The vertical triangular portion of the end of a structure having a double sloping roof from the level of the eave to the ridge of the roof.

JACK ARCH - Also called flat arch or straight arch. It is a horizontal row of wedge cut bricks over an opening.

NATURAL QUARRIED STONE - Stone found in stone quarries and cut or broken into sizes for use in construction, but otherwise left in its natural state.

MANUFACTURED STONE: Stone that has been pulverized or granularized and re-manufactured into a masonry product to look like natural quarried stone.

MODILLION BLOCKS- A horizontal bracket in the form of a decorative or plain block spaced at even intervals on the eave. Also called Dentil Molding

OBNOXIOUS OR POISONOUS VEGETATION- Natural vegetative growth with a wild unkempt appearance such as uncontrolled vines, briars, poison ivy, poison oak, poison sumac, etc.

PEDIMENT- In classical architecture, a low-pitched gabled element used over entrances primarily.

PICKET FENCE- A fence consisting of closely spaced vertical slats (typ. 1" - 2") attached to horizontal rails and intermediate posts.

PILASTER- A non-structural rectangular or semicircular column applied to the wall simulating supports for a decorative pediment or arch above (usually used at main entrances).

PRE-FINISHED MATERIAL - Material that has received a factory finish and is ready to install when delivered to the construction site (i.e. roofing shingles factory painted metal roof)

PROPERTY LINE- Legal limits of property; property edge. (Note: the front property line is usually not the edge of the street, but is set back from the road surface several feet. The area between the street and this line is the Right of Way).

QUOIN- (1) A solid exterior angle (as of a building); one of the members (as a block) forming a quoin and usually differentiated from the adjoining walls by material, texture, color, size, or projection; (2) the keystone or a voussoir of an arch

RAKE BOARD - A board or molding along the sloping edge of a gable which conceals the rafter.

RIDGE VENT - A linear ventilating cap installed along the ridge of a gabled roof

RIGHT-OF-WAY LINE - A strip of land (ground surface, underground or above ground) that has been granted by deed or easement for the construction or maintenance of a roadway. Governmental signs and U. S. postal collection boxes are allowed in this area.

SCALE- (1) A system of proportions used in architectural drawings so that the actual size of an item to be drawn can be reduced to a size small enough to fit on a sheet of paper (i.e. 1/4" = 1' (1/4 of an inch on the drawing represents 1 foot of actual size of the item being drawn). (2) Term used to relate to the proportional balance of all elements of a building.

SCREENING - Shielding method using either natural vegetation or a structure to conceal an unsightly condition from view, or provide protection from noise or wind exposure.

SEGMENTED ARCH - An arch that is composed of parts of a circle (less than half).

SELECTIVE CLEARING - Limited removal of trees permitted outside of area of clearing and grubbing work. Primarily are the removal of dead or diseased trees, scrub undergrowth and the thinning of overly dense growth. This is accomplished with hand labor rather than heavy equipment to prevent damage to the roots of growth to remain.

SITE PLAN- A plan of a lot indicating property lines, the accurate location and size of structures shown with dimensions to property lines.

SLOPE(ROOF)- The indication of the steepness of a roof measured by the amount of rise in inches per foot of horizontal length.

SOFFIT- The exposed undersurface of any overhead component of a building (i.e. eave).

SOLID BOARD FENCE - A privacy fence consisting of a wood framework with flat vertical boards attached to the outside face of the framework. The vertical boards can have various end treatments.

STORY(e.g.: 2½ STORY HOUSE) – One floored level of a house, enclosed by house walls (e.g. first floor = first story). A ½ story refers to a floored area enclosed within the roof area, above the top of the house walls (attic areas both finished and unfinished).

SYNTHETIC STUCCO- A pre-manufactured exterior finish material resembling cement stucco with smooth or textured surfaces that can be applied over the exterior sheathing of a building.

TOPOGRAPHY- A description of the vertical variations land (flat sloping, hills, valleys, etc.)

TRADITIONAL STYLE- Architectural styles copied or derived from those historical styles characteristic of older southern cities. These styles include Georgian, Adam, Greek Revival, and Colonial Revival.

TRANSITIONAL STYLE- Transitional architecture includes houses of mixed historical styles, and houses of mixed historical and contemporary styles.

UNFINISHED MATERIAL- Material without any special coating to alter the natural appearance, but may be treated with a preservative to prevent decay (i.e. salt treated lumber).

VEGETATION - Plant growth (treesshrubs, grass, etc.) either in its natural setting or a transplanted location.

VOCABULARY(DESIGN) - Composition of architectural elements that are assembled together on a house.

WINDOW AND DOOR TRIM - Board or molding installed around perimeter of a window or a door to conceal the joint.

WINDOW SASH- The framework of a window that holds the glass.

APPENDIX B: FORMS

Contains:

1. New Home Application Form
2. Request for Final Compliance Inspection Form
3. Home / Property Improvement Application Form

The Woods at Summerford

Architectural Review Committee

New Home Review Conducted for the ARC by:

Design Management Associates, Inc., 2119 E. Franklin St., Ste. 102, Richmond, Va 23223

Phone (804) 644-6404

New Home Application/Property Information Sheet

Section # _____ Lot # _____

Property Address: _____

Property Owner Name: _____

Mailing Address: _____

Telephone: _____ E-Mail: _____

Builder Name (if different from above): _____

Mailing Address: _____

Telephone: _____ E-Mail: _____

All submittals shall include: (1) Engineered site plan showing location of structure, setbacks, walks, drives, and clearing limits; (2) Architectural drawings showing all house elevations, floor plans, and typical wall section; (3) Landscaping plan.

Product/Material w/ Manufacturer Name if applicable _____ Color Name or Number _____

Brick* _____

Roof* _____

Siding* _____

Trim* _____

Shutter* _____

Doors* _____

Driveway _____

Walkways _____

* Sample or color chip may be required

Application: () Approved as Submitted () Not Approved
 () Approved with Limiting Conditions (see memo) () Preliminary Review

Signature: _____ Date: _____

(for the Architectural Review Committee)

Approval is limited to design criteria established by the Architectural Review Committee and should not be interpreted as approval of any variation from restrictions or conditions imposed on the property owner by The Woods at Summerford Covenants, Chesterfield County or other Jurisdiction. Approval of siting does not assure compliance with applicable zoning or environmental requirements by other Jurisdictions.

New Home Application/Property Information Sheet (continued)

Effective January 1, 2014, new construction review fees are as follows:

- Review fee \$500.00
- Site visit \$180.00 per hour (if applicable)
- Mileage \$.55 per mile (if applicable)
- The \$500 review fee is required at the time the application is submitted. Any additional charges outside of the review fee are the sole responsibility of the lot owner. If added information is needed please contact Marcy Peacock (managing agent) to discuss.

All fees are to be made payable to the Woods at Summerford HOA, Inc. and mailed to:

Community Group
Attn: Marcy Peacock
3901 Westerre Parkway, Suite 100
Richmond, VA 23233

Phone: 804-270-1800

Fax: 804-346-8640

Email: mpeacock@communitygroup.com

The Woods at Summerford

Architectural Review Committee

New Home Review Conducted for the ARC by:

Design Management Associates, Inc., 2119 E. Franklin St., Ste. 102, Richmond, Va 23223

Phone (804) 644-6404

Request for Final Compliance Inspection

Section # _____ Lot # _____

Property Address: _____

Property Owner Name: _____

Mailing Address: _____

Telephone: _____ E-Mail: _____

Builder Name (if different from above): _____

Mailing Address: _____

Telephone: _____ E-Mail: _____

Date Lot Will Be Ready For Inspection (8 a.m.) _____ Closing Date: _____

Please Send Certificate of Compliance To: _____

Address: _____

Telephone No. _____ Fax No. _____

DO NOT WRITE BELOW

	Y/N	If "NO", LIST DEFECTS:
Plans Approved:	_____	
Colors Approved:	_____	
Construction Complete:	_____	
Grading & Paving Complete:	_____	
Landscaping Complete:	_____	
Complies With Standards:	_____	

Reviewer: _____ Date: _____
(for the Architectural Review Committee)

Approval is limited to design criteria established by the Architectural Review Committee and should not be interpreted as approval of any variation from restrictions or conditions imposed on the property owner by The Woods at Summerford Covenants, Chesterfield County or other Jurisdiction.
Approval of siting does not assure compliance with applicable zoning or environmental requirements by other Jurisdictions.



The Woods at Summerford

Exterior Alteration Form

Owner's last name, First name

Mailing Address

Address of lot in which changes are proposed
() - () -

Home Phone Work Phone

Email Address

Complete the following if work is to be done by Third party.

Business Name

Address

Business Contact

() - () -
Work Phone Mobile

For Arc use Only

Routing: 1. Association Site File
2. Copy of completed application

With ACC

Date of Receipt: ___/___/___

Approval

As submitted

With Provisions described on Page 2

Denied

Authorization signature

___/___/___

Date

When completed, mail form to

Community Group, Inc.

Attn: Marcy Peacock

3901 Westerre Parkway

Suite 100

Richmond, VA 23233

mpeacock@communitygroup.com

I. Description of Alteration

Describe in detail the changes you propose in accordance with the Woods at Summerford ARC standards and the Declaration. Use additional pages if necessary and illustrate on a copy of your plat map the location of your improvements. **NOTE CERTAIN TYPES OF ALTERATIONS REQUIRE A COUNTY BUILDING PERMIT. THE ASSOCIATION TAKES NO RESPONSIBILITY FOR OBTAINING THAT PERMIT.** Call the county (804) 748-1047 if you have questions.

The Change/changes I propose to make is/are as follows:



II. Acknowledge of adjacent owners

Show and explain your completed application to the adjacent residents who would be most affected by the proposed alteration. Two signatures are required.

III. Adjacent owners

Your signature below shows you are aware of this application. It does not mean that you approve the project. If you disapprove, or wish to discuss the proposal call the Architectural control or Community Group, Inc. Please sign legibility.

Name: _____ Name: _____

Address: _____ Address: _____

() _____ () _____ () _____ () _____
Home Phone Work Phone Home Phone Work Phone

Signed: _____/____/____ Signed: _____/____/____

IV. OWNER'S AGREEMENT

I have completed this application in good faith and it accurately represents the alteration I propose to make. I understand that approval of this application does not authorize me to violate any provisions of the Architectural Standards or of the building and County zoning codes.

I understand and agree that any construction or alteration undertaken prior receipt of the Architectural Control approval is at my own risk, and that I may be required to return the property to its former condition at my own expense should the application be disapproved wholly or in part and I may be subject to additional charges.

I understand that representatives of the Architectural Control are permitted to enter upon my property at any reasonable time for the purpose of inspecting the area for the proposed project, the project in progress, or the completed project and that such entry does not constitute trespass.

I understand that work must be completed in a workmanlike manner within 180 days after the approval and that the improvement must be built only on my property.

_____/____/____
Owner Date

-----FOR ARCHITECTURAL CONTROL USE-----
Comments (Please describe in detail if an application is denied)

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